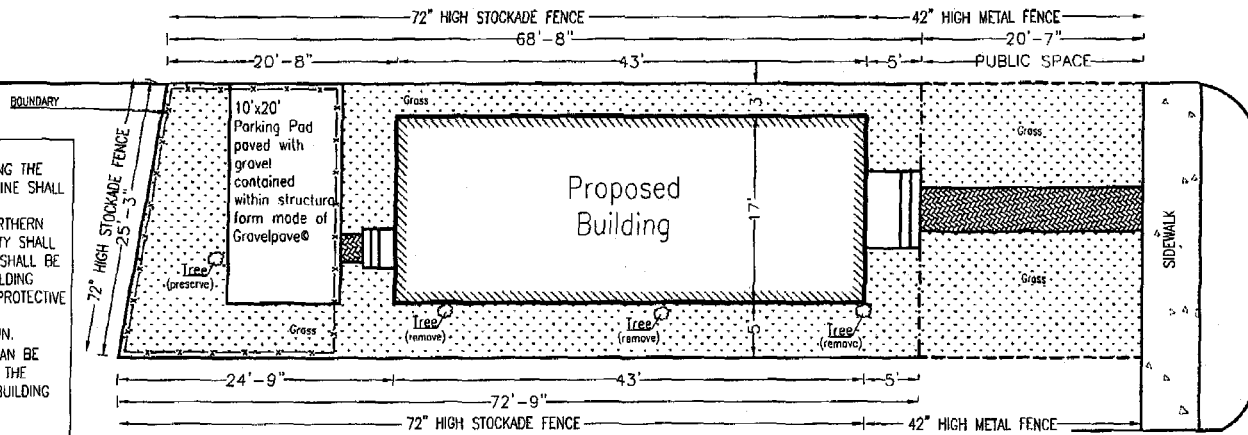


GRANT STREET NE

Curb

Curb

15' PUBLIC ALLEY

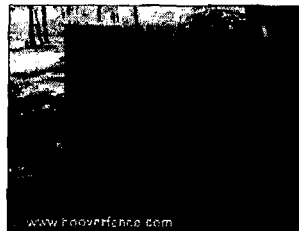
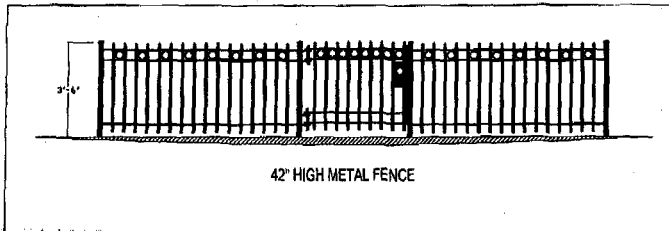


LANDSCAPE PLAN

4209 GRANT ST NE

Scale 1/8" = 1'-0"

Property Line



NOTES:

1. THREE TREES ALONG THE EASTERN PROPERTY LINE SHALL BE REMOVED.
2. TREE AT THE SOUTHERN END OF THE PROPERTY SHALL BE PRESERVED, AND SHALL BE SECURED DURING BUILDING CONSTRUCTION WITH PROTECTIVE FENCING ALONG THE BOUNDARIES AS SHOWN. (PROTECTIVE FENCE CAN BE REMOVED FOR LAYING THE PARKING PAD AFTER BUILDING CONSTRUCTION.)

15' PUBLIC ALLEY

BOARD OF ZONING ADJUSTMENT

District of Columbia

CASE NO.

18205

EXHIBIT NO.

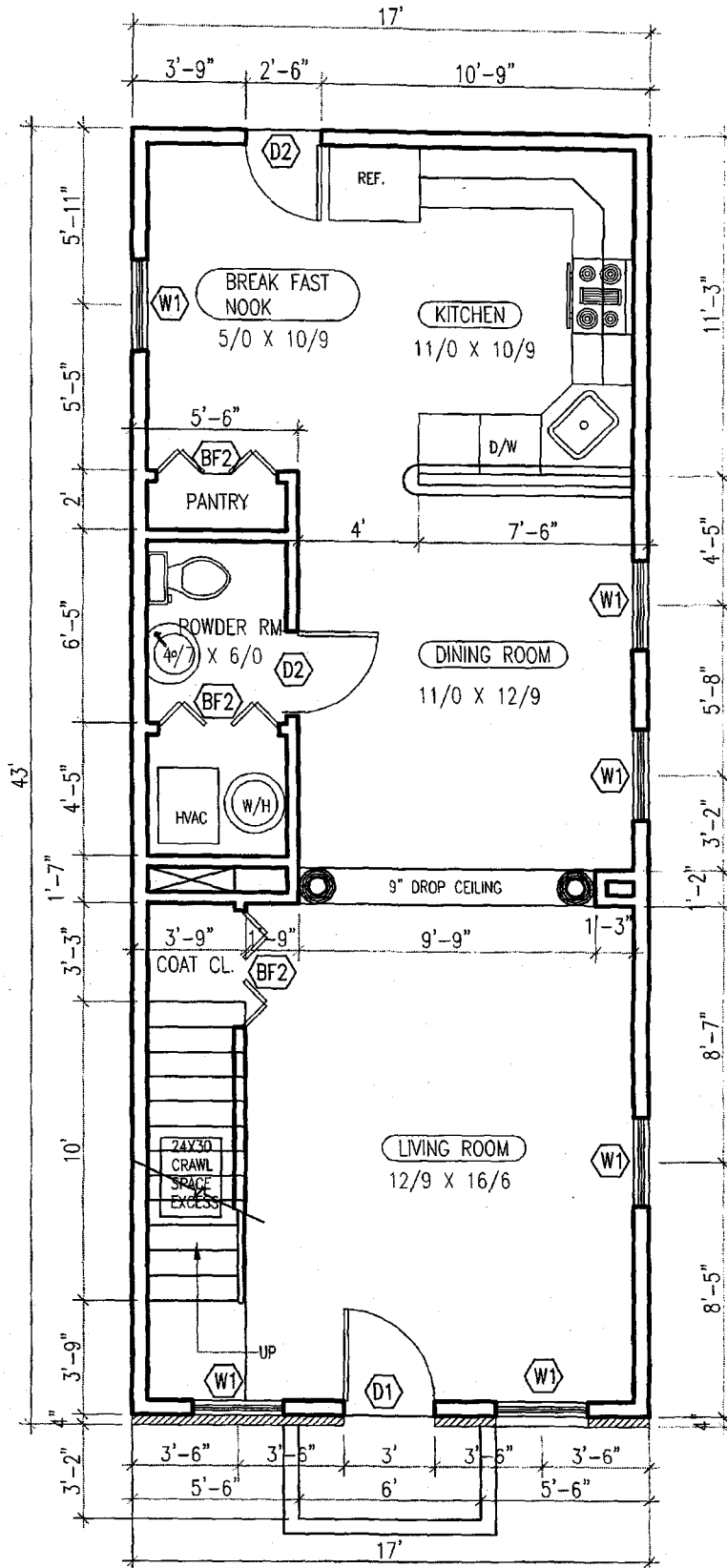
34

18205

FIRST FLOOR PLAN

4209 Grant Street NE
Washington, DC 20019

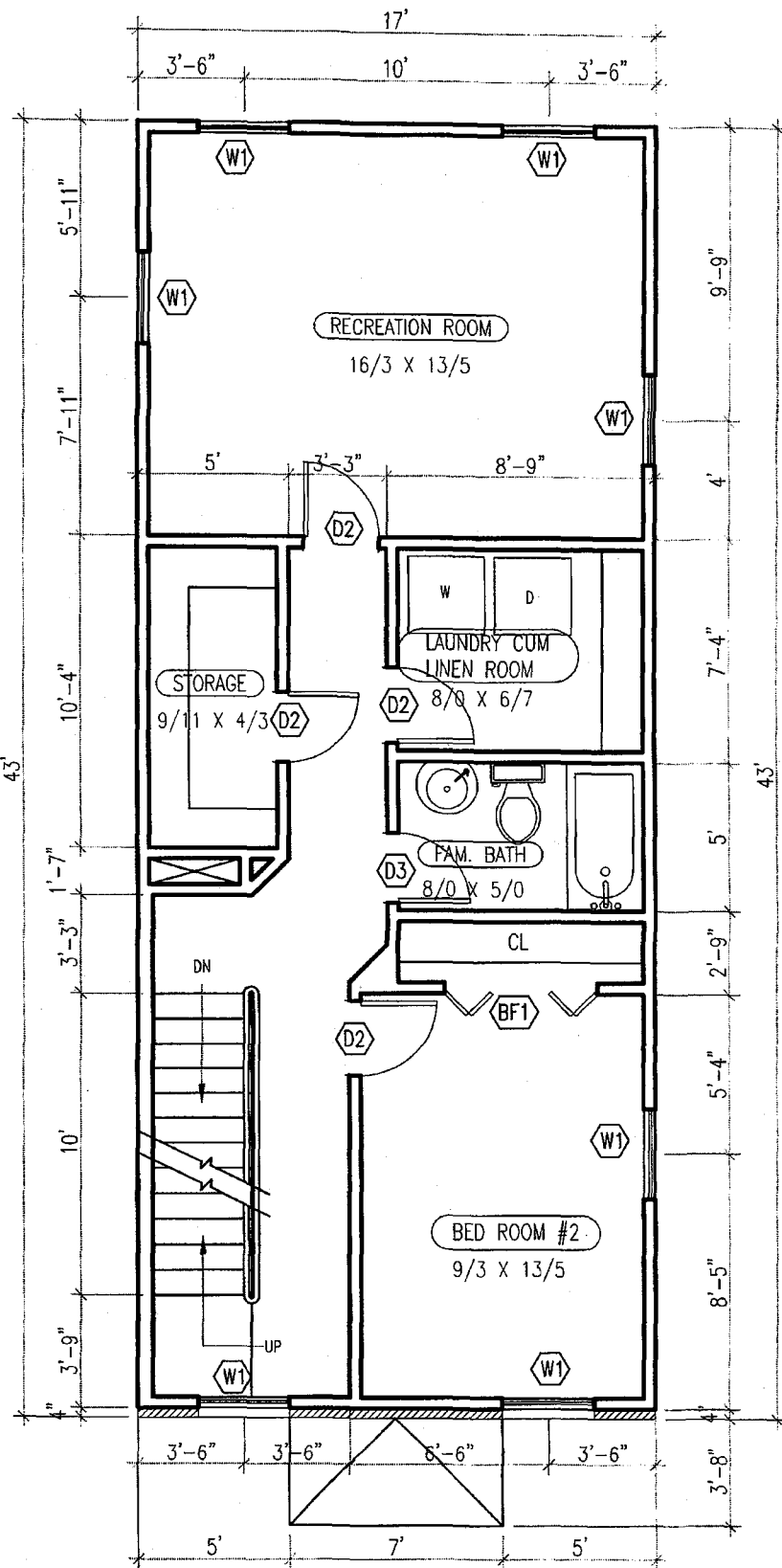
Scale $\frac{3}{16}" = 1'-0"$



SECOND FLOOR PLAN

4209 Grant Street NE
Washington, DC 20019

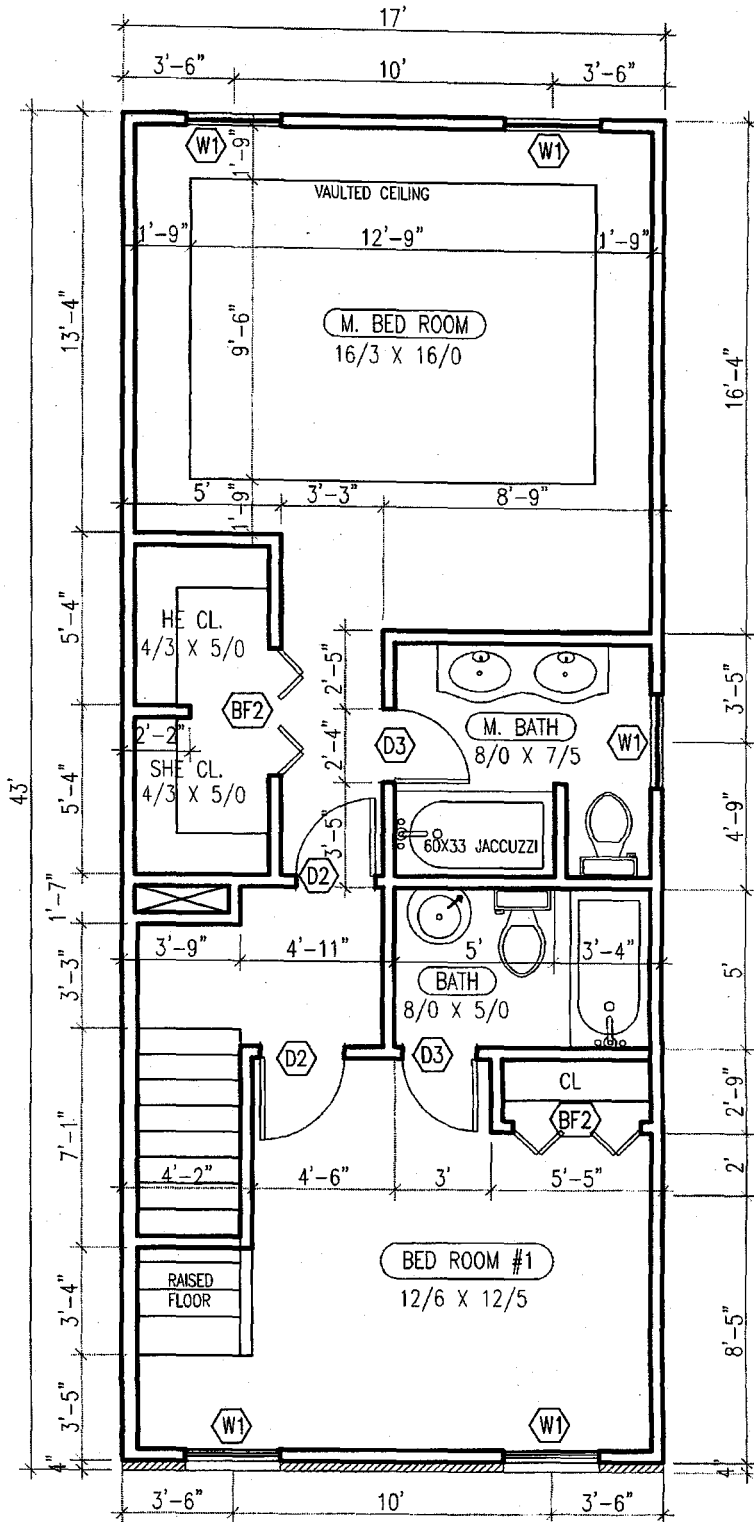
Scale $\frac{3}{16}" = 1'-0"$

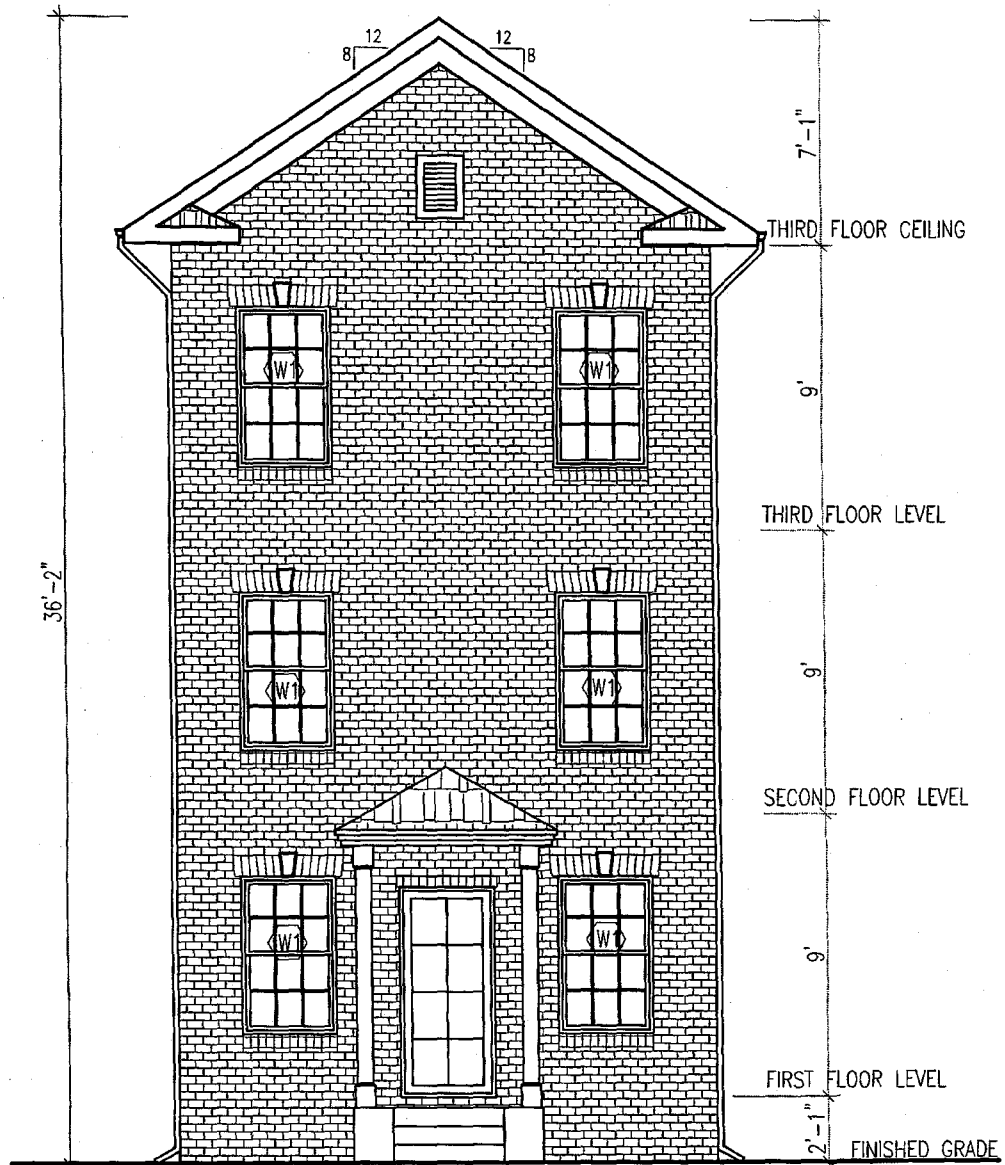


THIRD FLOOR PLAN

4209 Grant Street NE
Washington, DC 20019

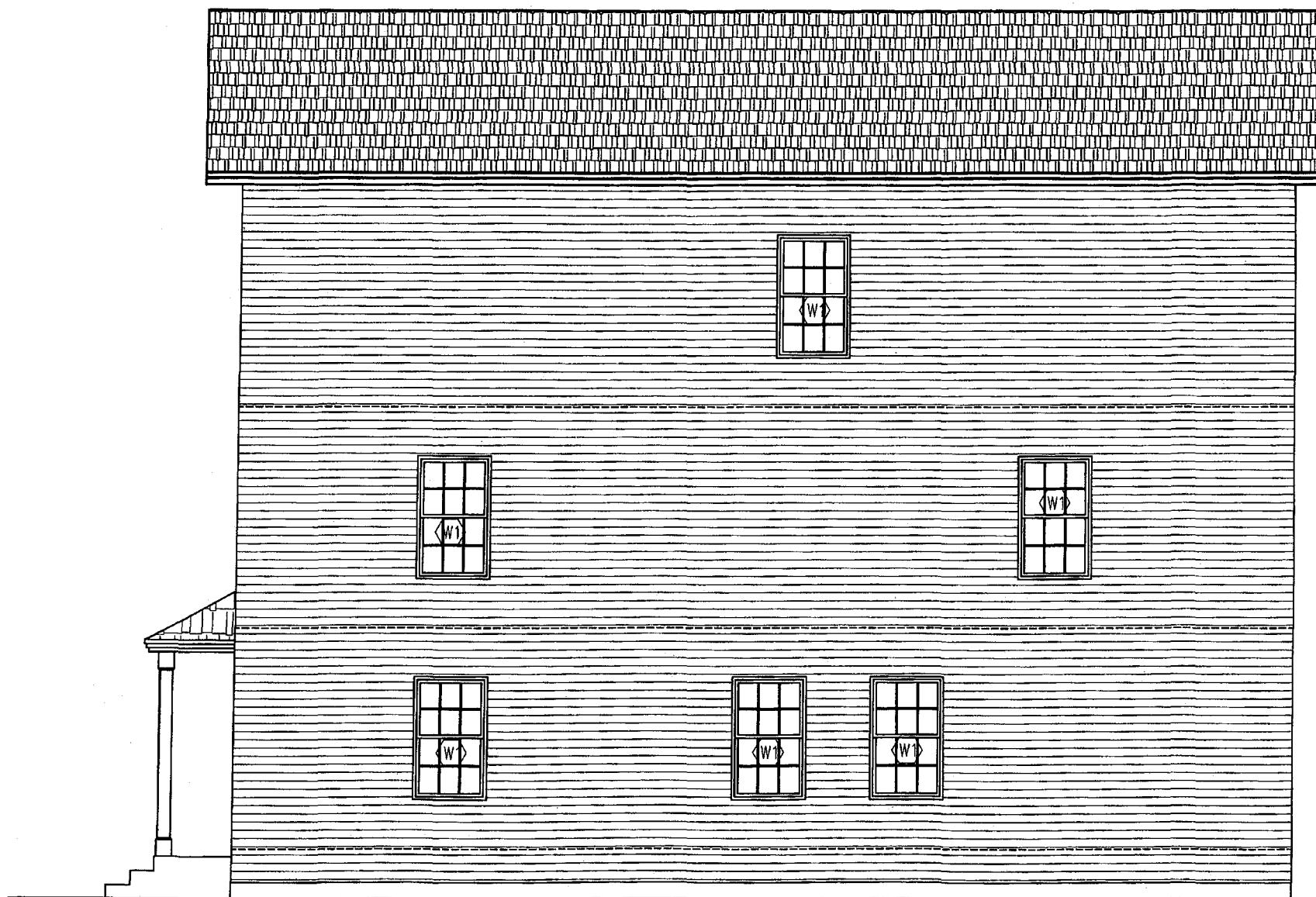
Scale $\frac{3}{16}'' = 1'-0''$





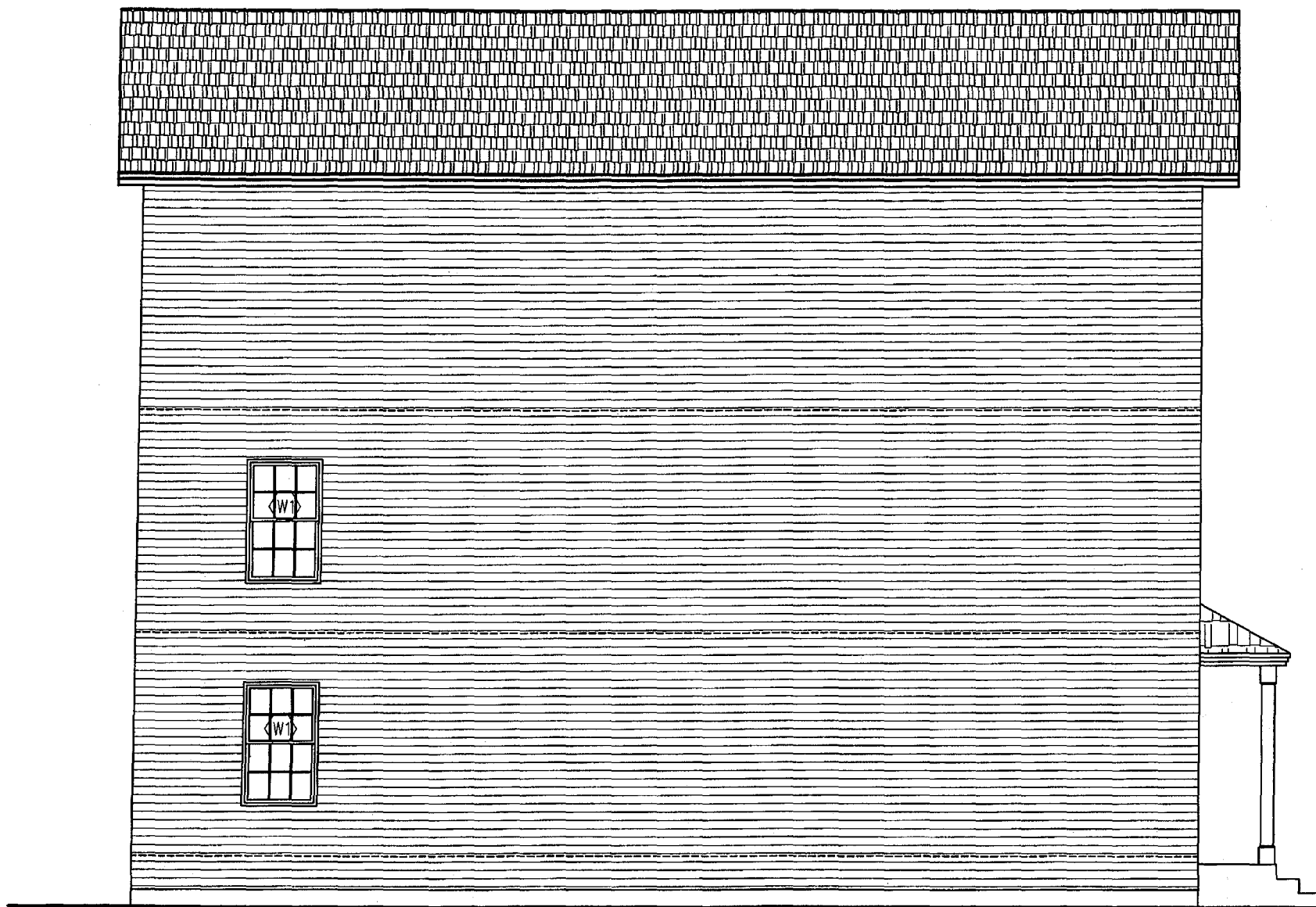
FRONT ELEVATION

4209 Grant Street NE
 Washington, DC 20019
 Scale $\frac{3}{16}" = 1'-0"$



RIGHT ELEVATION

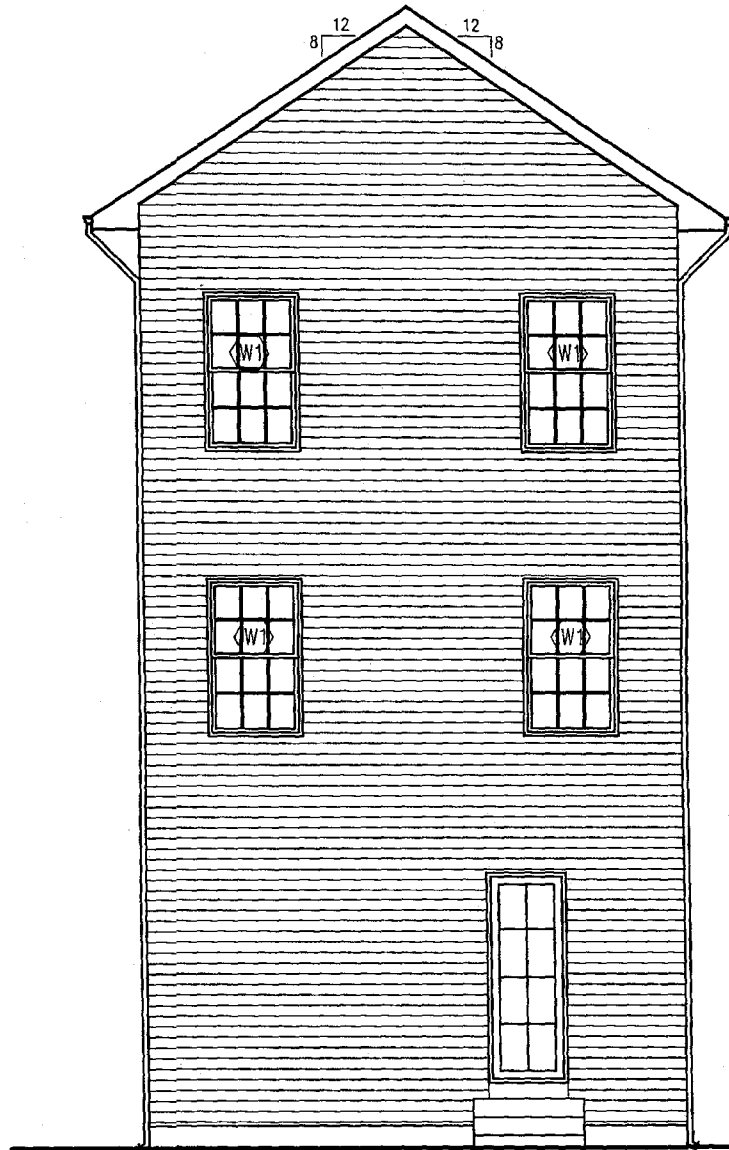
4209 Grant Street NE
Washington, DC 20019
Scale $\frac{3}{16}'' = 1'-0''$



LEFT ELEVATION

4209 Grant Street NE
Washington, DC 20019

Scale $\frac{3}{16}" = 1'-0"$



BACK ELEVATION

4209 Grant Street NE
Washington, DC 20019

Scale $\frac{3}{16}$ " = 1'-0"

Zoning Analysis
4209 GRANT ST NE, WASHINGTON DC 20019
Zone: R-2
SINGLE FAMILY RESIDENTIAL DETACHED BUILDING

Section	Description	Minimum required	Maximum Allowed	Provided	Remarks
400	Bldg Height	-	40' 3 story	36'-2" 3 story	-
401	Lot Area	4,000 sf	-	1,765 sf	Variance
401	Lot Width	40'	-	25'	Variance
402	Floor Area Ratio	-	-	-	-
403	Lot Occupancy	-	40%	41.41%	Variance
404	Rear Yard	20'	-	$(20.66+24.75)/2$ 22.7'	-
405	Side Yard	8'	-	3' (right) 5' (left)	Variance
2101	Parking Space	1	-	1	-