

250 M STREET, SE

SUPPLEMENTAL PRE-HEARING SUBMISSION

8 MAY 2008



1022 31ST STREET, NW
WASHINGTON, DC 20007
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www.hickokcole.com



DRAWING INDEX REVISED 05-08-2008

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PROJECT TEAM

OWNER -
SQUARE 769, LLC
 1100 New Jersey Ave., SE Suite 1000
 Washington, DC 20003

District of Columbia Housing Authority
 1133 North Capitol Street, NE
 Washington, DC 20002
 202-535-1000

DEVELOPER -
William C. Smith & Company, Inc.
 1100 New Jersey Ave., SE Suite 1000
 Washington, DC 20003
 202-465-7028

ARCHITECT
Hickok Cole Architects
 1022 31ST STREET, NW
 Washington, DC 20007
 202-667-9776

CIVIL ENGINEER
VKA, Inc.
 8180 Greensboro Drive Suite 200
 McLean, VA 22102
 703-442-7800

MEP ENGINEER
Girard Engineering, P.C.
 1355 Beverly Road, Suite 240
 McLean, VA 22101
 703-442-8787

STRUCTURAL ENGINEER
Park Engineering
 101 N. GAITHERS ROAD, SUITE 200
 ALEXANDRIA, VIRGINIA 22314-3231
 703-548-5010

ZONING COMMISSION 03-12F
 District of Columbia
 . 03-BF

CASE NO. 21
 EXHIBIT NO. 21

ZONING COMMISSION
 District of Columbia
 CASE NO. 03-12F/03-13F
 EXHIBIT NO. 21



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PROJECT:
250 M STREET, SE
SQUARE 789, LLC
1100 New Jersey Ave, SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
PUD CHECKLIST & ZONING TABULATIONS

PROJECT NO.
05034.14
DRAWN BY:
CMN
SCALE:
DATE:
05-08-08
DWG. NO.

T0.00

PUD CHECKLIST

SECTION	ITEM	SHEET NO.
2406.12(b)	AREA AND DIMENSIONS OF EACH LOT EXACT AREA OF TOTAL SITE	C-1.1 C-1.1
	PERCENTAGE OF LOT OCCUPANCY: FOR EACH BUILDING ON EACH LOT FOR ALL BUILDINGS ON ENTIRE SITE	T0.00 T0.00
	GROSS FLOOR AREA AND FLOOR AREA RATIO: FOR EACH BUILDING ON EACH LOT FOR ALL BUILDINGS ON ENTIRE SITE INCLUDING A BREAKDOWN FOR EACH USE	T0.00 T0.00 T0.00
2406.12(c)	DETAILED SITE PLAN: LOCATION AND EXTERNAL DIMENSIONS OF ALL BUILDINGS AND STRUCTURES	A1.05
	UTILITIES AND OTHER EASEMENTS	C-2.0
	WALKWAYS AND DRIVEWAYS	C-2.0, L1-1
	PLAZAS, ARCADES AND OPEN SPACES	C-2.0, L1-1
2406.12(d)	DETAILED LANDSCAPING AND GRADING PLAN: EXISTING TOPOGRAPHY, CONTOURS, NATURAL FEATURES, LANDSCAPING	C-2.0, L1-1
	GRAPHIC ILLUSTRATION OF GRADES EXCEEDING 15% IN 5% INCREMENTS	N/A
	EXISTING TREES OF 6" CALIPER OR GREATER	C-2.0, L1-1
	NEW CONTOURS, PROPOSED FINISHED GRADES, PLANTING, AND LANDSCAPING	C-2.0, L1-2
	PROPOSED DRAINAGE, INCLUDING WATER AND SEWER LINES, INLETS AND BASINS, CONNECTIONS TO PUBLIC WATER AND SEWER LINES	C-2.0, L1-1
	PROPOSED EROSION CONTROLS	C-3.0, C-3.1
2406.12(e)	ARCHITECTURAL PLANS: TYPICAL FLOOR PLANS AND ELEVATIONS FOR EACH BUILDING	A1.01-A2.04
	SECTIONS FOR EACH BUILDING	A3.01-A3.02
	SECTIONS FOR ENTIRE PROJECT	A3.01-A3.02
	SECTIONS AND ELEVATIONS FOR ENTIRE SQUARE	A3.01-A3.02
2406.12(f)	CIRCULATION PLAN: DRIVEWAYS AND WALKWAYS, INCLUDING WIDTHS, GRADES, AND CURB CUTS	A0.02-A0.03, L1-1
	LOCATION AND NUMBER OF PARKING SPACES	A1.01
	LOCATION AND NUMBER OF LOADING BERTHS	T0.00, A1.05
	DESIGNATION OF SPACES FOR DIFFERENT USES	A1.01-A1.04
2406.12(g)	SITE CONTEXT IMAGES	A0.04
APP. FORM	SURVEYOR'S PLAT	C-1.1

Section 2406.12 (b)

DETAILS

AREA AND DIMENSIONS

SEE C-1.1

PERCENTAGE OF LOT OCCUPANCY

= BUILDING AREA/LOT AREA
= 23,104.66 S.F./27975.48 S.F.
= 82.59%

GROSS FLOOR AREA CALCULATION

SQUARE FEET

FIRST FLOOR
TOTAL 23,104.66
EXCLUSION 1,774.78
COUNTED 21,329.88

SECOND FLOOR
TOTAL 21,806.32
EXCLUSION 250.20
COUNTED 21,556.12

THIRD FLOOR-EIGHTH FLOORS
TOTAL 22,768.74
EXCLUSION 84.75
COUNTED 22,684.00

NINTH FLOOR
TOTAL 21,829.24
EXCLUSION 84.75
COUNTED 21,744.49

TENTH FLOOR
TOTAL 21,798.99
EXCLUSION 84.75
COUNTED 21,714.24

ELEVENTH FLOOR
TOTAL 11,776.30
EXCLUSION 42.95
COUNTED 11,733.35

MECHANICAL PENTHOUSE
TOTAL 3,459.62
EXCLUSION 0
COUNTED 3,459.62

TOTAL GROSS FLOOR AREA

BUILDING 234,182.05 S.F.
PENTHOUSE 3,459.62 S.F.

TOTAL GROSS FLOOR AREA BY USE

FIRST FLOOR RETAIL 10,660.85 S.F. (=50.0% OF FIRST FLOOR)
OFFICE 223,521.20 S.F.

FIRST FLOOR RETAIL CEILING CLEARANCE: 14'-0" CLEAR

GROSS FLOOR AREA ALLOWED

= 236,000 S.F. (AS REQUIRED BY ZONING COMMISSION NO. 03-12/13)

FAR

= TOTAL GROSS FLOOR AREA/LOT AREA

BUILDING
= 234,182.05 S.F./27,975.48 S.F.
= 7.99

PENTHOUSE
= 3,459.62 S.F./27,975.48 S.F.
= .16

TOTAL
= 7.99+.16
= 8.15

Section 2406.12 (f)

CIRCULATION

PARKING

150 SPACES REQUIRED (AS REQUIRED BY ZONING COMMISSION ORDER NO. 03-12/13)

233 SPACES PROVIDED

BY TYPE:

STANDARD SIZE SPACES

REGULAR CARS 138
COMPACT CARS 27
HYBRID CARS 12

VAN PARKING ONLY

ACCESSIBLE SPACES 5 (AS REQUIRED BY ZONING)
STANDARD 5 (AS REQUIRED BY BUILDING CODE)
VAN 2 (AS REQUIRED BY BUILDING CODE)

STACKED SPACES

STANDARD SIZE 9
COMPACT SIZE 28

BY LEVEL:

P-1 LEVEL 47
P-2 LEVEL 62
P-3 LEVEL 63
P-4 LEVEL 61

BICYCLE SPACES

8 SPACES REQUIRED

33 SPACES PROVIDED (ADDITIONAL SPACES PROVIDED TO MEET LEED REQUIREMENTS)

LOADING BERTHS

3 12'X30' LOADING BERTHS REQUIRED, 3 PROVIDED
1 10'X20' DELIVERY BERTH REQUIRED, 1 PROVIDED

COMPUTATION:

GROSS FLOOR AREA FOR LOADING = BUILDING GROSS FLOOR AREA - AREA ALLOCATED TO
LOADING
= 234,182.05 S.F. - 2,987.25 S.F.
= 231,194.8 S.F.

YARD REQUIREMENTS

SIDE YARD

DEPTH REQUIRED = 2' FOR EACH FOOT OF HEIGHT OF THE BUILDING (AS REQUIRED BY ZONING
CODE)

= 2(NIFT X 129'-9"

= 259 1/2'

= 21'-7 1/2"

DEPTH PROVIDED = 21'-7 1/2"

REAR YARD

DEPTH REQUIRED = 1/2 12" PER FOOT OF VERTICAL DISTANCE FROM THE MEAN FINISHED GRADE

= 2 1/2 (NIFT X 132'-1 1/2"

= 330.3125'

= 27'-6 5/16"

DEPTH PROVIDED = 30'-0" (TAKEN TO THE CENTERLINE OF THE RIGHT OF WAY 2ND STREET EAST)

RETAIL GLASS REQUIREMENTS

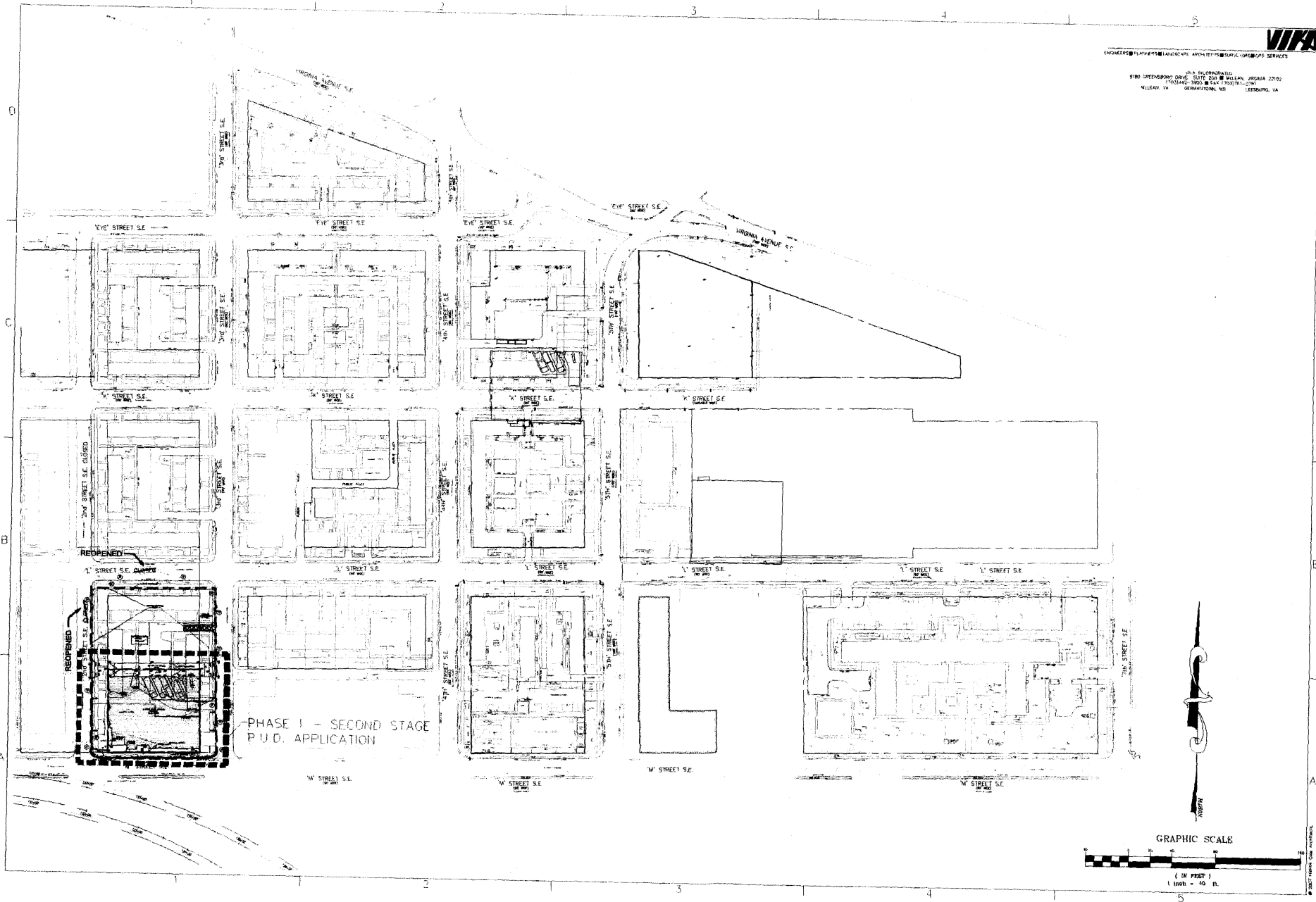
PERCENTAGE GLASS FACADE FOR RETAIL DISPLAY @ 2ND STREET = 92.40%

PERCENTAGE GLASS FACADE FOR RETAIL DISPLAY @ M STREET = 92.57%

NOTE: GLASS USED WILL HAVE A MINIMUM RATING OF 70% VISIBLE LIGHT TRANSMISSION AND A
MAXIMUM OF 17% VISIBLE LIGHT REFLECTANCE

ZONING: CG/C-3-C AND CR

ALL CONSTRUCTION TO OCCUR IN CG/C-3-C



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VIRGINIA GEORGETOWN, MD LEESBURG, VA



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CONSULTANT

PROJECT

260 M STREET, SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 Wisconsin Avenue, NW
Washington, DC 20005

DRAWING TITLE
OVERALL SITE PLAN

STAMP

PROJECT NO.
69629

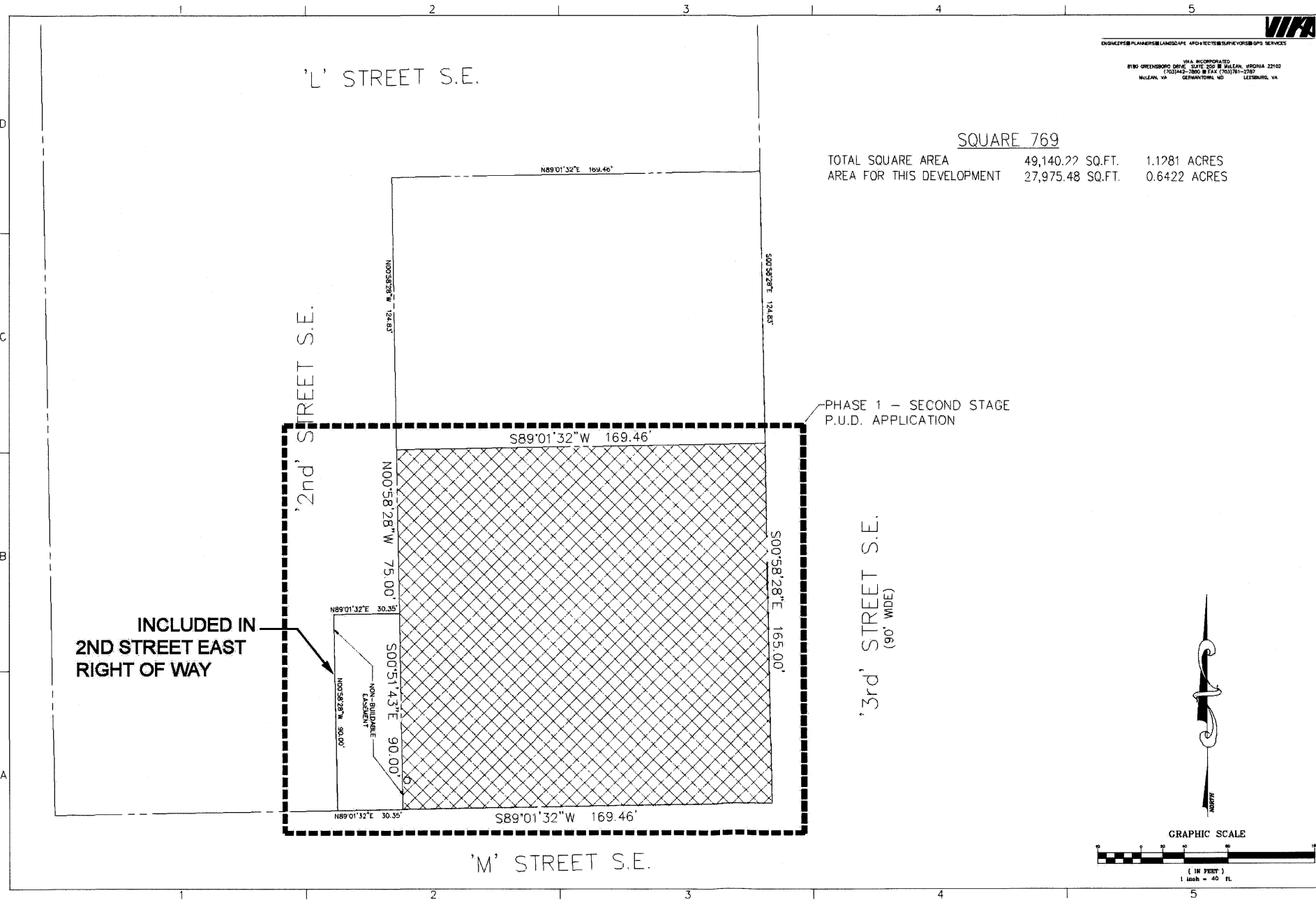
DRAWN BY:
MDB

SCALE
1"=40'

DATE
05-08-08

DWG. NO.

C-1.0



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 8180 GREENBORO DRIVE, SUITE 200 B HALEAN, VIRGINIA 22102
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 HALEAN, VA GERMANTOWN, MD LEESBURG, VA



1009 9th Street, NW
 Washington, DC 20007
 P 202.867.8778
 F 202.867.2280
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CONSULTANT

SQUARE 769

TOTAL SQUARE AREA 49,140.27 SQ.FT. 1.1281 ACRES
 AREA FOR THIS DEVELOPMENT 27,975.48 SQ.FT. 0.6422 ACRES

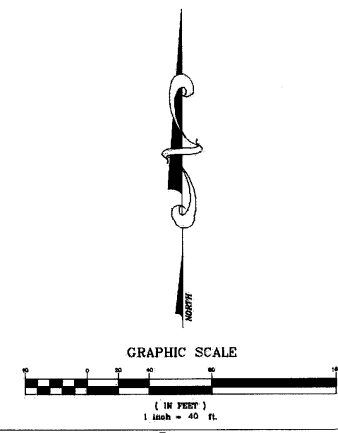
PROJECT
 260 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY, INC
 Washington, DC 20008

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 PLAT PLAN

STAMP

PROJECT NO.
 0666V
 DRAWN BY:
 MDS
 SCALE
 1"=40'
 DATE
 05-08-08
 DWG.
 NO.

C-1.1

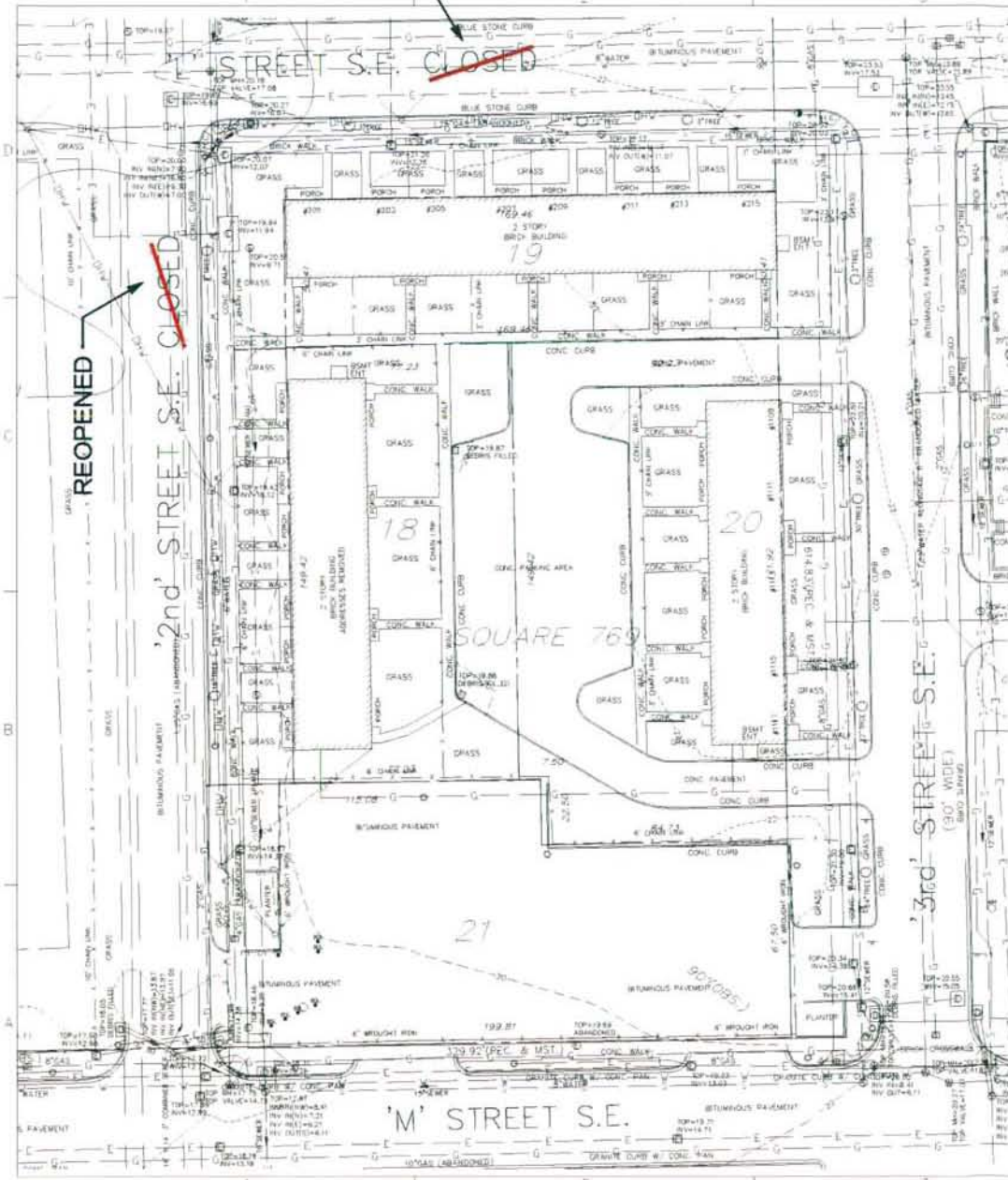


REOPENED

STREET S.E. CLOSED

REOPENED

'2nd' STREET S.E. CLOSED



NOTES:

- 1) THE HORIZONTAL DATUM IS BASED ON A BOUNDARY SURVEY PROVIDED BY GREENBERG & ZIMMER INC.
- 2) THE VERTICAL DATUM IS BASED ON THE DISTRICT OF COLUMBIA DATUM
3.2' BENCH MARKS 100-130 ELEVATION = 204'
100-131 POINT OF CORNER ADJUTANT
- 3) THE SUBJECT PROPERTY IS LOCATED IN ZONE "C" - AREA OF MINIMAL FLOODING - AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM COMMUNITY PANEL NO. 12002) SET BY THE DISTRICT OF COLUMBIA, WASHINGTON, DC, DATED NOVEMBER 15, 1985
- 4) NO TITLE REPORT FURNISHED
- 5) A "SURVEY TO MAIN" WAS PREPARED BY CAPHS DEVELOPMENT DESIGN, INC. DATED AUGUST 11, 2006 AND RECORDED IN SURVEY BOOK 1000 PAGE 164 AMONG THE RECORDS OF THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA LISTED BELOW ARE SPECIFIC POLYLINE NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANIES (OR LACK OF RESPONSE IS NOTED)

UTILITY NOTE

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW WERE GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE INDICATED FROM THE INFORMATION NOTED IN THE TABLE BELOW WHICH COMPRISES THE RECORD INFORMATION OBTAINED BY THE SURVEYOR. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, TRALLED SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SOLICITED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS. LISTED BELOW ARE SPECIFIC POLYLINE NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANIES (OR LACK OF RESPONSE IS NOTED)

UTILITY COMPANY	PLANS / SHEET #
VERIZON 3001 Columbia Boulevard - 3rd Floor Bethesda, MD 20814 DISTRICT CABLEVISION 1500 Wisconsin Avenue Washington, DC 20007 WASHINGTON GASLIGHT REPLACEMENT SECTION 4200 Industrial Road Springfield, VA 22151	PLANS PROVIDED NO REPLY AT THIS TIME PLANS PROVIDED, MAP 4/B-100-10
NET WORKS 2250 Lakeside Road McLean, VA 22102	PLANS PROVIDED, UTILITIES IN STREETS, NO EXACT LOCATION PROVIDED
PEPCO 1000 Pennsylvania Ave Room 208 Washington, DC 20008 WATER & SEWER DEPT 11025 Fingerboard Road Manassas, VA 20108	PLANS PROVIDED, TWP, SDC, TWP, SDC, BOO, SDC & BOO, SDC NO DATA - BLUE PLANS PLAIN ROOM NO FACILITIES WITHIN AREA

THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "911" 48 HOURS PRIOR TO CONSTRUCTION.

D.C. BOUNDARY NOTE:

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD AS FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR. A SURVEY TO MAIN, PREPARED BY DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND APPROVED BY THE OFFICE OF THE SURVEYOR BE REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONSULTATION FOR THIS PROPERTY.

LEGEND

—	CABLE TELEVISION CONDUIT	—	SANITARY CLEANOUT
—	ELECTRICAL CONDUIT	—	STORM DRAIN MANHOLE
—	EDGE OF PAVEMENT	—	ELECTRICAL JUNCTION BOX
—	FENCE LINE	—	ELECTRICAL MANHOLE
—	NATURAL GAS CONDUIT	—	FIRE DEPARTMENT CONNECTION
—	OVERHEAD WIRES	—	FIRE WORKMAN
—	TELEPHONE/COMMUNICATIONS CONDUIT	—	GAS MANHOLE
—	PROPERTY LINES	—	SOIL POLE
—	PUBLIC UTILITIES EASEMENTS	—	GAS VALVE
—	SANITARY SEWER CONDUIT	—	LIGHT POLE
—	STORM DRAIN CONDUIT	—	PHONE PEDESTAL
—	WATER CONDUIT	—	PHONE MANHOLE
—	CONC. CURB	—	UTILITY POLE
—	C&G CURBS AND GUTTER		
—	BRICK		
—	STI		
—	STY		
—	ELECTRICAL TRANSFORMER		
—	ASPHALT		
—	EASEMENT		
—	REINFORCED CONCRETE PIPE		
—	COMP. CORRUGATED METAL PIPE		
—	WALDORF RESTRICTION LINE		
—	RIGHT-OF-WAY		



GRAPHIC SCALE



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CONSULTANT

PROJECT
250 M STREET, SE
SQUARE 769, LLC
1100 M Street, SE
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
EXISTING CONDITIONS PLAN

BTAMP

PROJECT NO.
6855V
DRAWN BY:
MGB
SCALE
1"=40'
DATE
05-08-08
DWG.
NO.

C-1.2

REOPENED

~~L' STREET S.E. CLOSED~~

REOPENED

~~2nd' STREET S.E. CLOSED~~

3rd' STREET S.E. (90' WIDE)

M' STREET S.E.



INDUSTRIAL PLANNING & DESIGN ARCHITECTURE & INTERIORS SERVICES

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WILLOW, VA 22180, VA



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Washington, DC 20002
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CONSULTANT

STORMWATER MANAGEMENT NARRATIVE

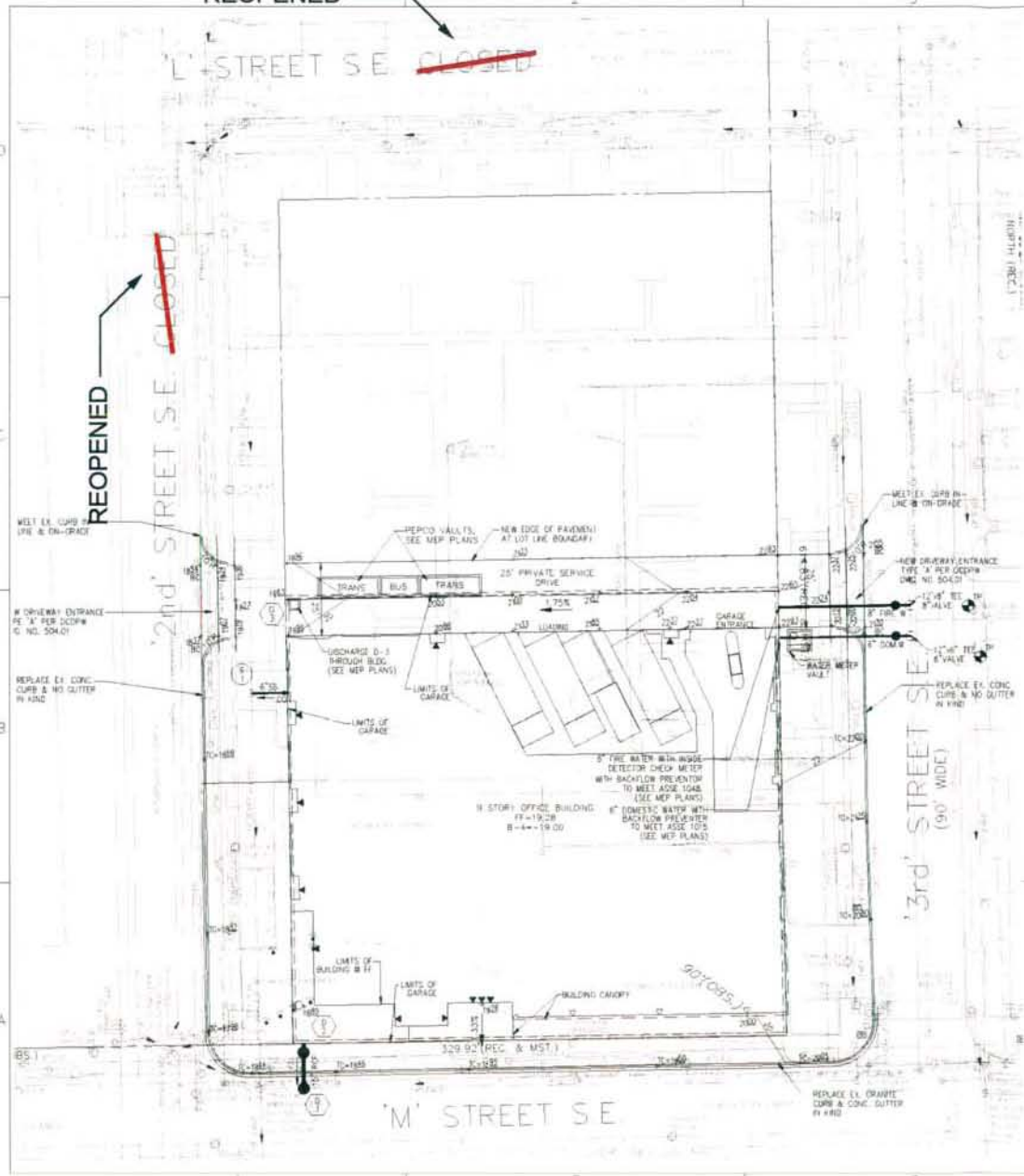
THE ROOFTOP OF THE PROPOSED BUILDING WILL CONTAIN A GREEN ROOF USED FOR BOTH STORMWATER MANAGEMENT AND BUILDING WARMTHS. THIS GREEN ROOF IS OF ADEQUATE AREA AND SECTION TO PROVIDE STORMWATER MANAGEMENT FOR THE PROPOSED DEVELOPMENT. THE PRIMARY METHOD FOR STORMWATER MANAGEMENT FOR THE PROPOSED DEVELOPMENT IS THE GREEN ROOF.

PROJECT
260 M STREET, SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY, INC.
WASHINGTON, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
SITE, GRADING & UTILITY PLAN

STAMP

PROJECT NO.
6656V
DRAWN BY:
MDB
SCALE
1"=40'
DATE:
05-08-08
DWG. NO.
C-2.0



LEGEND

- 10" Ø STORM DRAIN
- 8" Ø SANITARY SEWER
- 6" Ø FIRE WATER
- TEST PIT
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- BUILDING ENTRANCE
- PROPOSED SPOT ELEVATION

LEGEND

- CABLE TELEVISION CONDUIT
- ELECTRICAL CONDUIT
- EDGE OF PAVEMENT
- FENCE LINE
- NATURAL GAS CONDUIT
- OVERHEAD WIRES
- TELEPHONE/COMMUNICATIONS CONDUIT
- PROPERTY LINES
- PUBLIC UTILITIES ELEMENTS
- SANITARY SEWER CONDUIT
- STORM DRAIN CONDUIT
- WATER CONDUIT
- CONCRETE CURB AND GUTTER
- BUILDING STOP
- STBY ELECTRICAL TRANSFORMER
- ASPHALT EXEMENT
- REINFORCED CONCRETE PIPE
- COMPLICATED METAL PIPE
- BUILDING RESTRICTION LINE
- RIGHT-OF-WAY
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GUY POLE
- GAS VALVE
- LIGHT POLE
- PHONE PEDESTAL
- PHONE MANHOLE
- UTILITY POLE
- TRAFFIC SIGNAL POLE
- TRUCK
- CABLE TELEVISION PEDESTAL
- URNUHORN UTILITY MANHOLE
- WATER METER
- WATER MANHOLE
- WATER VALVE
- TURN POST
- WOOD POST
- FILES
- CORB PILE



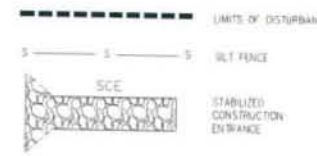
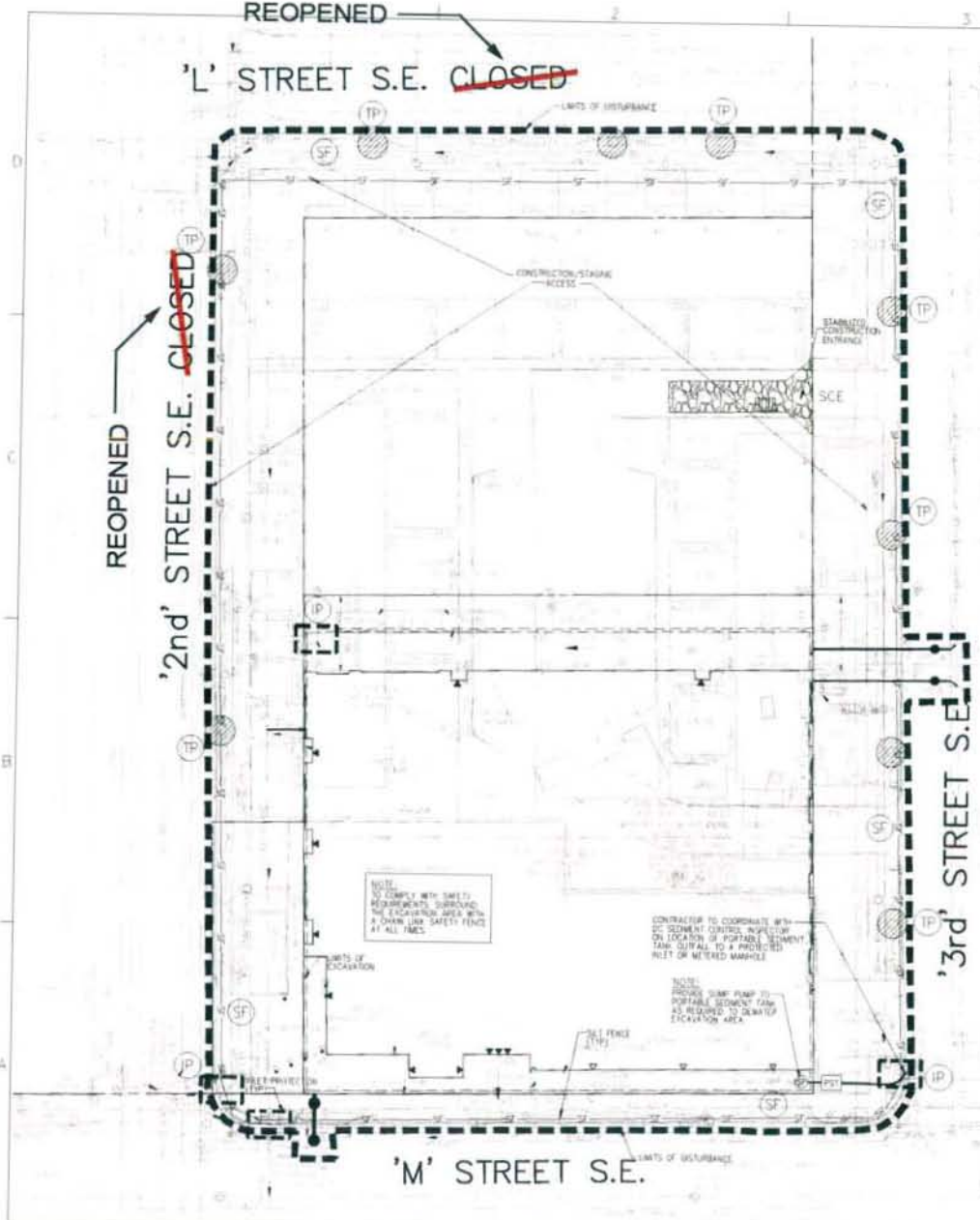
REOPENED

'L' STREET S.E. ~~CLOSED~~

REOPENED
'2nd' STREET S.E. ~~CLOSED~~

'3rd' STREET S.E.

'M' STREET S.E.



LEGEND

- | | | |
|--|--|--|
| <ul style="list-style-type: none"> ○ SANITARY MANHOLE ○ TRAFFIC CONTROL BOX ○ TRAFFIC SIGNAL POLE ○ TELE ○ CABLE TELEVISION PEDESTAL ○ UNKNOWN UTILITY MANHOLE ○ WATER METER ○ WATER MANHOLE ○ WATER VALVE ○ WELLD ○ SIGN POST ○ NODE POST ○ RILET ○ CURB PAVT | <ul style="list-style-type: none"> □ CONC □ CAC □ BLDG □ STY □ TRV □ ASPH □ ESBT □ CASSEMET □ RCP □ CMP □ BBL □ RW □ CONCRETE □ CURB AND GUTTER □ BUILDING □ SIGN □ ELECTRICAL TRANSFORMER □ ASPHALT □ EASEMENT □ REINFORCED CONCRETE WIRE □ CORRUGATED METAL PIPE □ BUILDING RESTRICTION LINE □ RIGHT-OF-WAY | <ul style="list-style-type: none"> ○ SANITARY CLEANOUT ○ STORM DRAIN MANHOLE ○ ELECTRICAL JUNCTION BOX ○ ELECTRICAL MANHOLE ○ FIRE DEPARTMENT CONNECTION ○ FIRE HYDRANT ○ GAS MANHOLE ○ GAS POLE ○ GAS VALVE ○ LIGHT POLE ○ PHONE PEDESTAL ○ PHONE MANHOLE ○ UTILITY POLE |
|--|--|--|

GRAPHIC SCALE



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CONSULTANT

PROJECT
 260 M STREET, SE
 BOLLINGER 780, LLC
 WILLIAM C. SMITH & COMPANY, INC.
 WASHINGTON, DC 20003

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 EROSION CONTROL PLAN

STAMP

PROJECT NO. 0666V
 DRAWN BY: MDCB
 SCALE: 1"=40'
 DATE: 05-08-08

DWG. NO.
C-3.0



1800 51st Street NW
 Washington, DC 20007
 P 202.862.8770
 F 202.862.2340
 www.hickokcole.com

CONSULTANT

PROJECT
 260 M STREET, SE
 SQUARE 786, LLC
 1100 North Academy Avenue, NE
 Atlanta, Georgia 30309
 404.525.1100
 www.square786.com

CONSULTANT
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 EROSION CONTROL NOTES

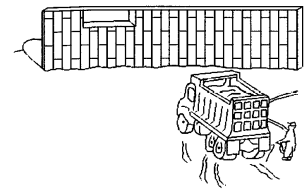
STAMP

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 MDB
 SCALE:
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 DATE:
 05-08-08
 DWG. NO.

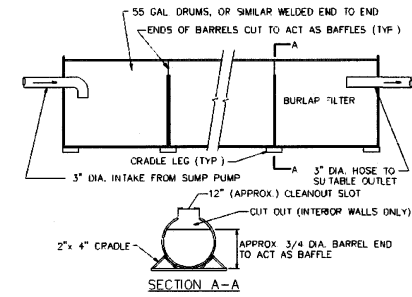
C-3.1

- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
- THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON-SITE. THESE CONTROL MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE, & B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 k Pa) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING;
- FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITION AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGE, HOSES AND MIST NOZZLES;
 - LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE EXCAVATION AREA CAN BE WETTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING;
 - APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND THE SITE BOUNDARIES.

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
- ALL DEBRIS TO BE REMOVED FROM SITE
- ALLEY AND/OR STREET SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION
- ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
- IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
- CONTRACTOR SHALL CLEAN OUT SEDIMENT TANK WHEN 33% CAPACITY, HAS BEEN REACHED.
- ANY STOCKPILE, REGARDLESS OF LOCATION, SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
- AFTER RAZE OR DEMOS, THERE IS THE NEED FOR GROUND COVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOD, PAVE, BRICKBAT OR MULCH, ETC
- RESEED ALL DISTURBED AREAS NOT COVERED BY PAVEMENTS, WALLS, BUILDINGS, AND PERMANENT STRUCTURES UPON COMPLETION OF ALL SITE WORK AS PER SEEDING SPECIFICATIONS.
- ALL SEDIMENT TRAPS MUST BE SURROUNDED WITH A WELDED WIRE SAFETY FENCE. THE FENCE MUST BE AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN 2 INCHES IN WIDTH AND 4 INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.



STANDARDS AND SPECS FOR VEHICLE WASH AREA
 DEFINITION: AN ON-SITE AREA WHERE TIRES AND UNDER CARRIAGE OF A VEHICLE CAN BE WASHED
 PURPOSE: THE VEHICLE WASH IS PROVIDED TO MINIMIZE THE QUANTITY OF SEDIMENT DEPOSITED ON DISTRICT OF COLUMBIA ROADS BY VEHICLES LEAVING THE SITE
 CONDITION WHERE PRACTICE APPLIES: THE VEHICLE WASH AREA WILL BE REQUIRED ON ANY SITE WHERE VEHICLES CAN ENTER INTO UNIMPROVED SURFACES.
 DESIGN CRITERIA: THE "VEHICLE WASH AREA" SHALL BE PROVIDED ON-SITE. THE AREA MAY BE CONSTRUCTED OF RUBBLE OR OTHER HARD POROUS MATERIAL. A WORKING WATER HOSE MUST BE LOCATED IN THE AREA DURING ALL CONSTRUCTION ACTIVITIES.
 WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO U.S. NATIONAL ARBORETUM ROADS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

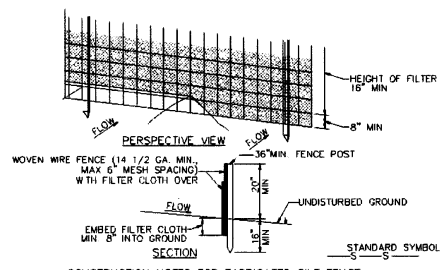


- NOTES:
- CLEAN OUT THE SEDIMENT TANK WHEN ONE THIRD (1/3) FILLED WITH SILT.
 - STEEL DRUMS ARE USED AS AN EXAMPLE DUE TO THEIR READY AVAILABILITY. ANY TANKS MAY BE USED PROVIDING THAT THE VOLUME IN CUBIC FEET EQUALS SIXTEEN TIMES THE PUMP DISCHARGE IN GALLONS PER MINUTE. PUMP DISCHARGE (G.P.M.) x 16=CUBIC FOOT STORAGE
 - ALL SEDIMENT COLLECTED IN THE TANK SHALL BE DISPOSED OF BY A METHOD APPROVED BY THE ARCHITECT.

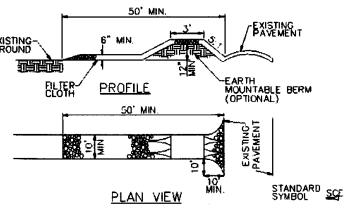
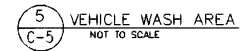
SOD ESTABLISHMENT (VEGETATIVE STABILIZATION)

To provide quick cover on disturbed areas which will be maintained with equipment (2:1 grade or flatter).

- General Specifications
 - Class of turfgrass sod shall be Maryland or Virginia State Certified, or Maryland or Virginia State approved sod.
 - Sod shall be machine cut of a uniform thickness of 3/4" plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch.
 - Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
 - Individual pieces of sod shall be cut to the supplier's width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pods and torn or uneven ends will not be acceptable.
 - Sod shall not be harvested or transported when moisture content (excessively dry or wet) may adversely affect its survival.
 - Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transported within this period shall be inspected and approved prior to its installation.
 - Sod labels shall be made available to the job foreman and inspector.
- Sod Installation
 - During periods of excessively high temperature the soil shall be tightly irrigated immediately prior to laying the sod.
 - The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly edged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or compressed and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
 - On sloping areas where erosion may be a problem, sod shall be laid with the long edge parallel to the contour and with staggering joints. Secure the sod by rolling, tamping and pegging or other approved methods.
 - As sodding is completed in any one section, the entire area shall be rolled or tamped to ensure solid contact of roots with soil surface. Sod shall be watered immediately after rolling or tamping until the underside of the new sod pod and soil surface below the sod are thoroughly wet. The operations of laying, tamping and pegging for any piece of sod shall be completed within eight hours.
- Sod Maintenance
 - In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
 - After the first week, sod shall be watered as necessary to maintain adequate moisture and ensure establishment.
 - First mowing should not be attempted until sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

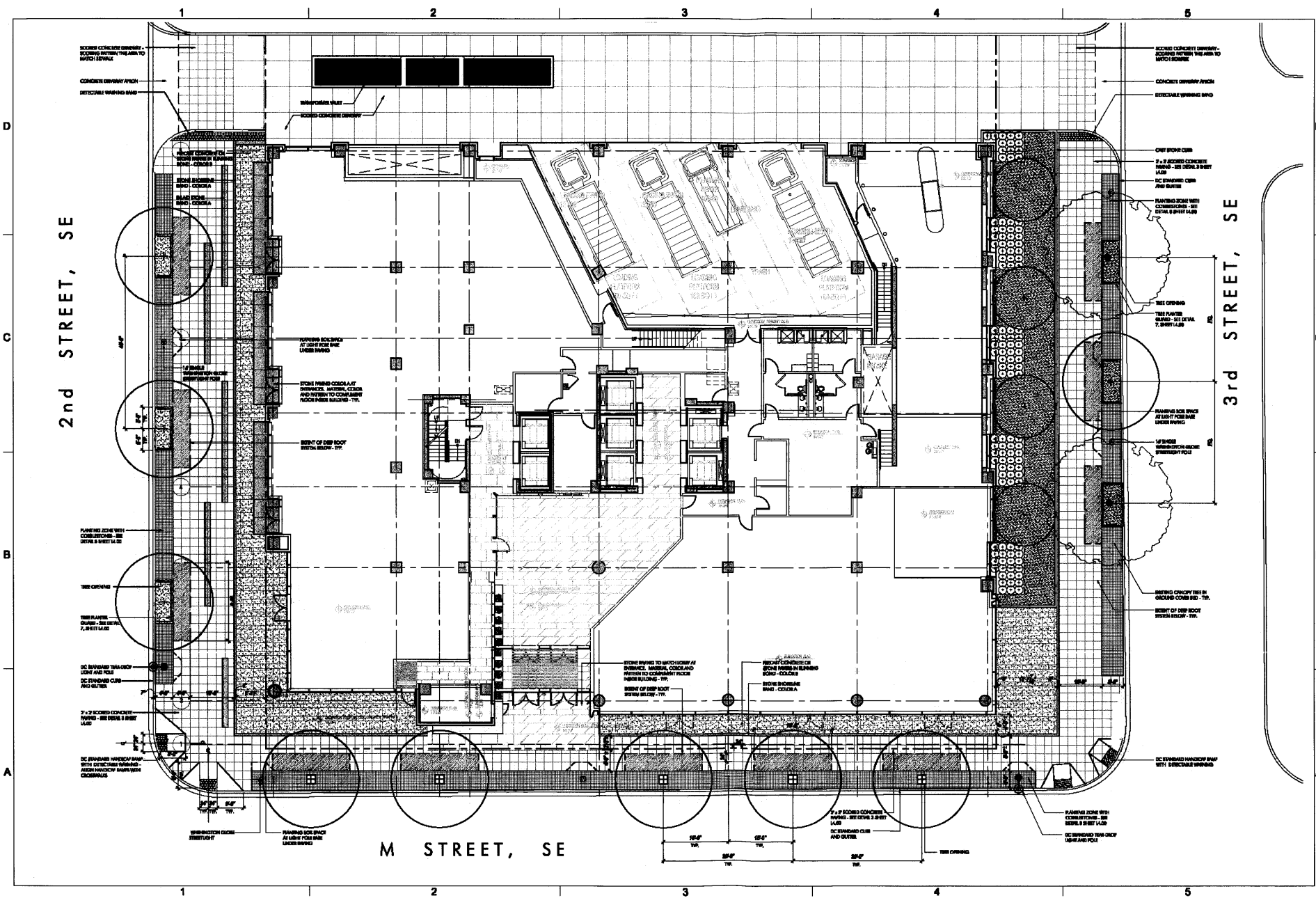


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES. POST: STEEL EITHER T OR U-TYPE OR 2" HARDWOOD
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH WIRE TIES OR STAPLES EVERY 24" AT TOP AND MID SECTION. FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH: FILTER X MIRAFIL 100X, STABILUNA 114DM OR APPROVED EQUAL
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. FABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE-USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
 - LENGTH-AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
 - THICKNESS-NOT LESS THAN SIX (6) INCHES.
 - WIDTH-TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
 - FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO DISTRICT OF COLUMBIA ROADS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO DISTRICT OF COLUMBIA ROADS MUST BE REMOVED IMMEDIATELY.
 - WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO DISTRICT OF COLUMBIA ROADS WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.





2nd STREET, SE

3rd STREET, SE

M STREET, SE



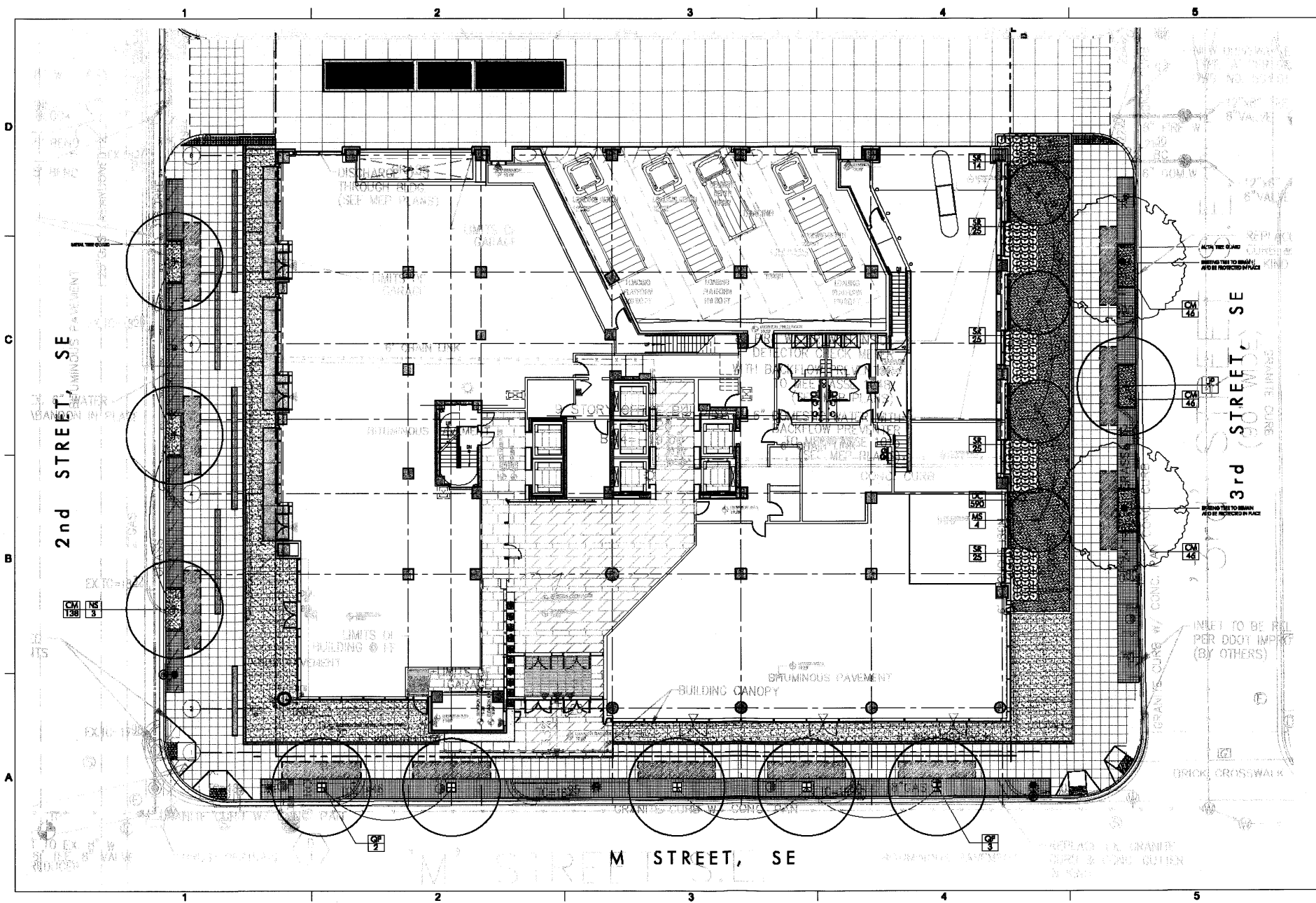
1000 3rd Street, NW
Washington, DC 20007
P 202.462.8778
F 202.462.2240
www.hickocole.com

PROJECT
250 M STREET, SE
SQUARE 768, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave., SE, Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
LAYOUT AND MATERIALS PLAN

PROJECT NO.
05204-14
DRAWN BY:
CAM
SCALE:
1"=20'-0"
DATE:
05-08-08
DWG. NO.

L1.00



4000 9th Street, NW
 Washington, DC 20007
 P 202.297.2200
 F 202.297.2200
 www.hobokcole.com

PROJECT:
 200 M STREET, SE
 SCALPANE, LLC
 SUPPLEMENTAL PLANNING
 1100 New Jersey Ave, SE Suite 1000
 Washington, DC 20003

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 PLANTING PLAN

PROJECT NO.
 05054-14
 DRAWN BY:
 CAM
 SCALE:
 1"=20'-0"
 DATE:
 05-08-08
 DWG. NO.

L1.01



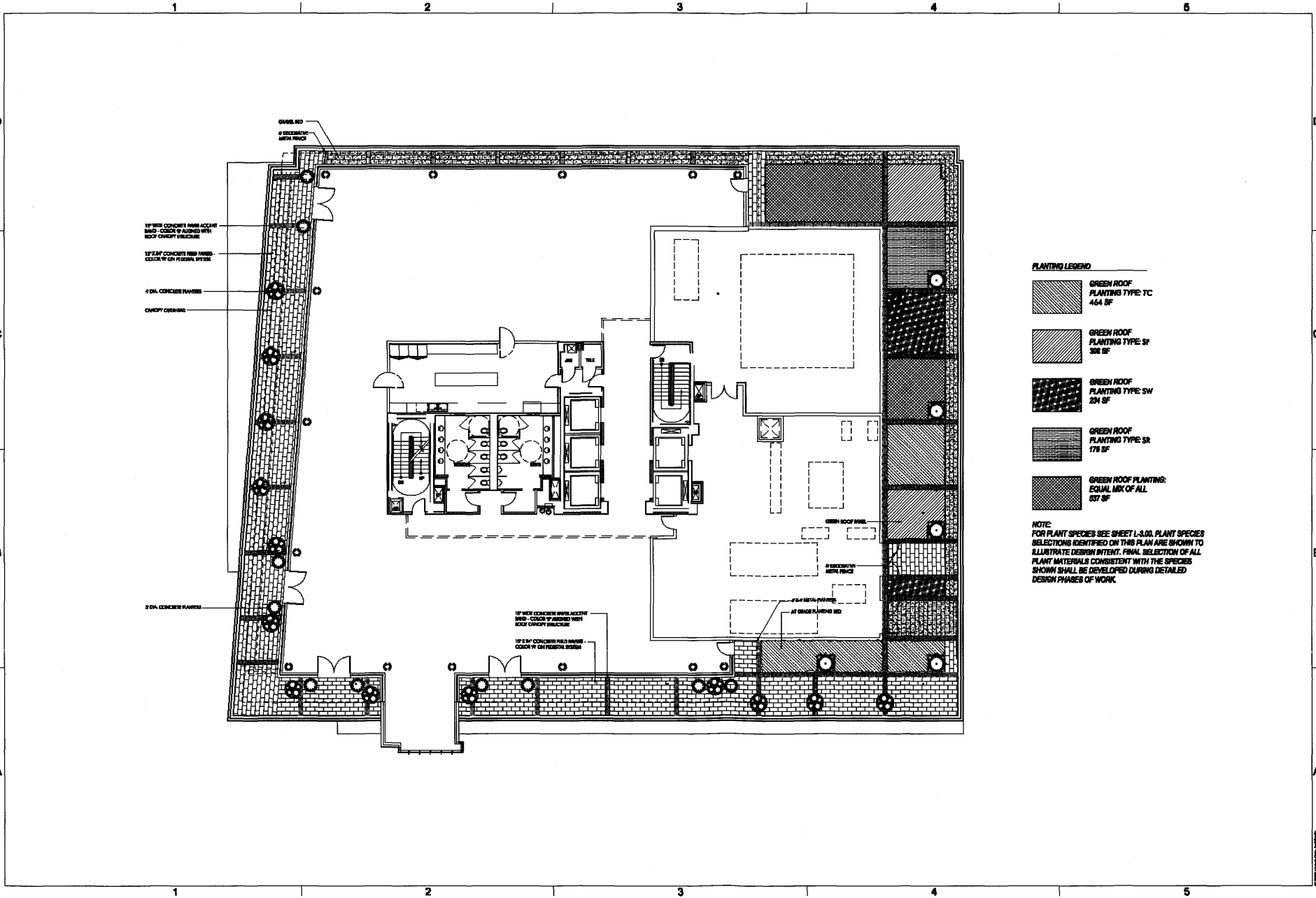
925 7th Street, NW
Washington, DC 20001
P 202.462.2776
F 202.462.2360
www.hickco.com

260 M STREET, SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 PENNSYLVANIA, DC 20003

PROJECT
DRAWING TITLE
**SUPPLEMENTAL PRE-HEARING SUBMISSION
PENTHOUSE LEVEL TERRACE PLAN**

PROJECT NO.
0524-14
DRAWN BY:
CAM
SCALE:
1"=20'-0"
DATE:
05-08-08
DWG. NO.

L2.00



12" W/C CONCRETE FINISH ACCENT
W/ND - COLOR TO MATCH WITH
BODY CONCRETE STRUCTURE

12" W/C CONCRETE FIBER FINISH
COLOR TO MATCH PERMANENT SYSTEM

4" DIA. CONCRETE FINISH

CONCRETE OVERLAP

4" DIA. CONCRETE FINISH

2" DIA. CONCRETE FINISH

12" W/C CONCRETE FINISH ACCENT
W/ND - COLOR TO MATCH WITH
BODY CONCRETE STRUCTURE

12" W/C CONCRETE FIBER FINISH
COLOR TO MATCH PERMANENT SYSTEM

GREEN ROOF FINISH

4" DIA. CONCRETE FINISH

4" DIA. METAL FINISH

4" DIA. METAL FINISH

- PLANTING LEGEND**
- GREEN ROOF
PLANTING TYPE: TC
464 SF
 - GREEN ROOF
PLANTING TYPE: SF
308 SF
 - GREEN ROOF
PLANTING TYPE: SW
28 SF
 - GREEN ROOF
PLANTING TYPE: SR
178 SF
 - GREEN ROOF PLANTING:
EQUAL MIX OF ALL
537 SF

NOTE:
FOR PLANT SPECIES SEE SHEET L-3.00. PLANT SPECIES
SELECTIONS IDENTIFIED ON THIS PLAN ARE SHOWN TO
ILLUSTRATE DESIGN INTENT. FINAL SELECTION OF ALL
PLANT MATERIALS CONSISTENT WITH THE SPECIES
SHOWN SHALL BE DEVELOPED DURING DETAILED
DESIGN PHASES OF WORK.



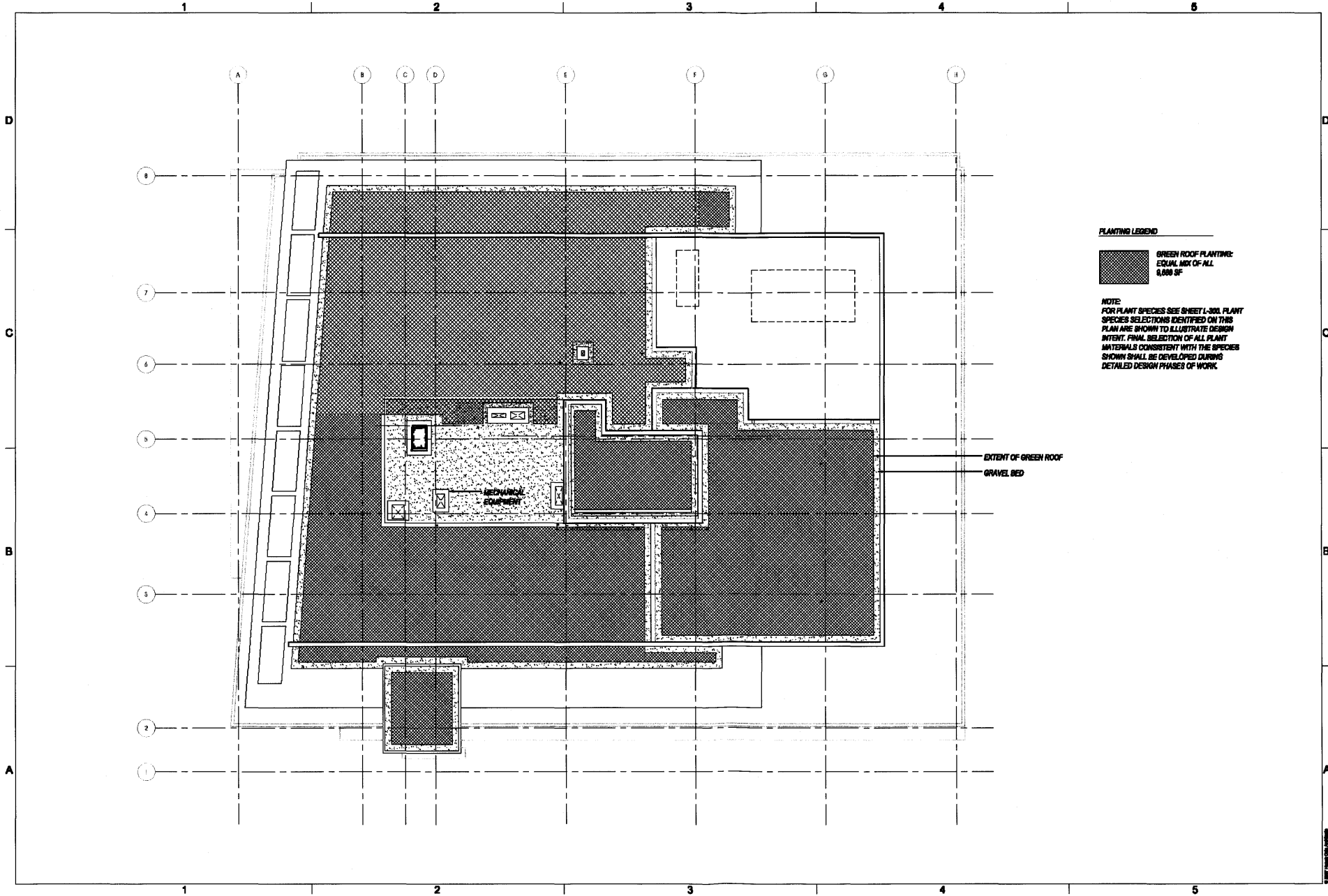
1020 First Street, NW
Washington, DC 20004
P 202.697.2300
www.hickokcole.com

PROJECT
2500 M STREET, SE
SQUARE 788, LLC
1100 M STREET, SE, SUITE 1100
WASHINGTON, DC 20003


DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
ROOF PLANTING PLAN

PROJECT NO.
08004.14
DRAWN BY:
CAM
SCALE:
1"=20'-0"
DATE:
05-08-08
SHEET NO.

L2.01



PLANTING LEGEND

 GREEN ROOF PLANTING:
EQUAL MIX OF ALL
6,000 SF

NOTE:
FOR PLANT SPECIES SEE SHEET L-200. PLANT
SPECIES SELECTIONS IDENTIFIED ON THIS
PLAN ARE SHOWN TO ILLUSTRATE DESIGN
INTENT. FINAL SELECTION OF ALL PLANT
MATERIALS CONSISTENT WITH THE SPECIES
SHOWN SHALL BE DEVELOPED DURING
DETAILED DESIGN PHASES OF WORK.

EXTENT OF GREEN ROOF
GRAVEL BED



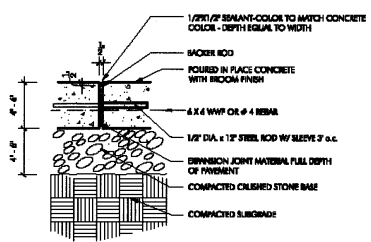
1855 3rd Street, NW
Washington, DC 20007
P 202.297.3778
F 202.297.3296
www.hinkco.com

PROJECT: 260 M STREET, I.E.
SQUARE 789, LLC
1100 New Jersey Ave, SE Suite 1000
Washington, DC 20003

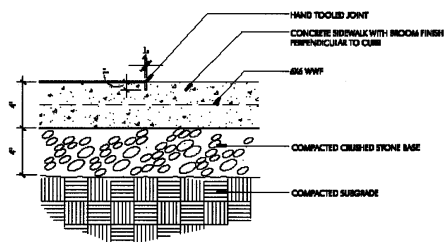
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SUPPLEMENTAL PRE-HEARING SUBMISSION
DETAILS

PROJECT NO.
05034.14
DRAWN BY:
CAM
SCALE:
AS NOTED
DATE:
05-09-09
DWG. NO.

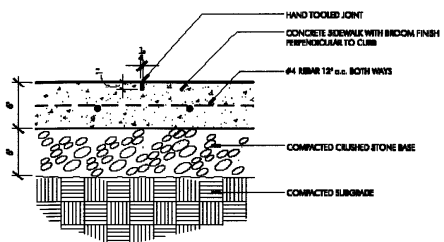
L4.00



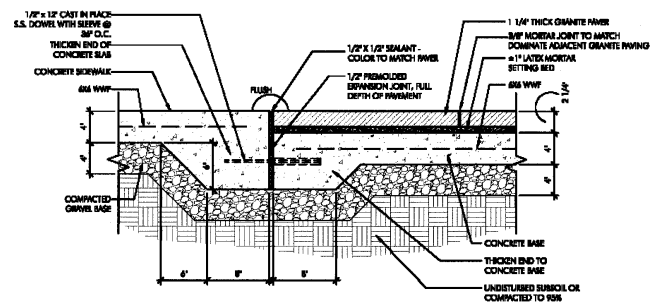
1 TYP. EXPANSION JOINT
SCALE: 3/4" = 1'-0"



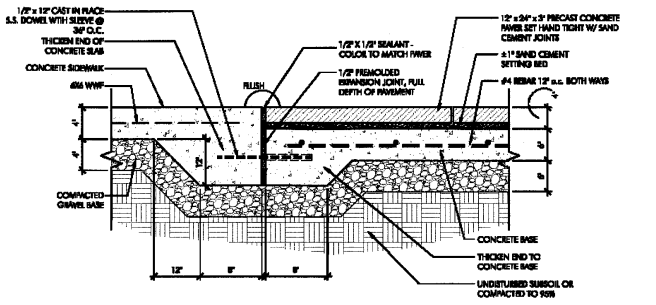
2 CONC. PAVING VEHICULAR
SCALE: 3/4" = 1'-0"



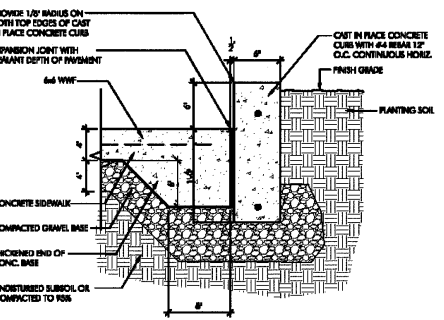
3 CONC. PAVING PEDESTRIAN
SCALE: 3/4" = 1'-0"



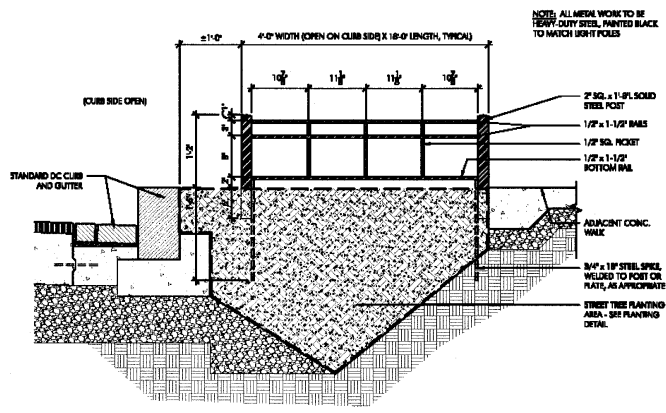
4 SIDEWALK TO CONCRETE PAVER TRANSITION
SCALE: 3/4" = 1'-0"



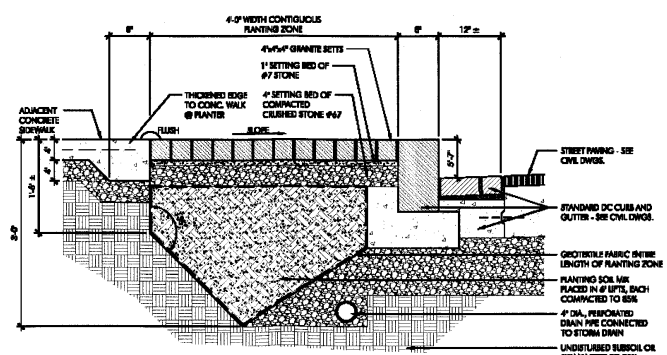
5 SIDEWALK TO GRANITE PAVER TRANSITION
SCALE: 3/4" = 1'-0"



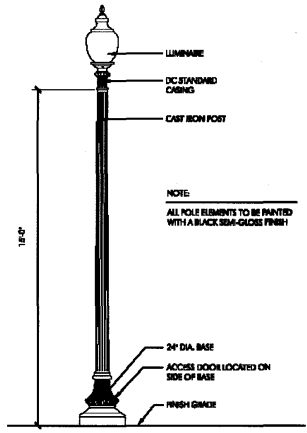
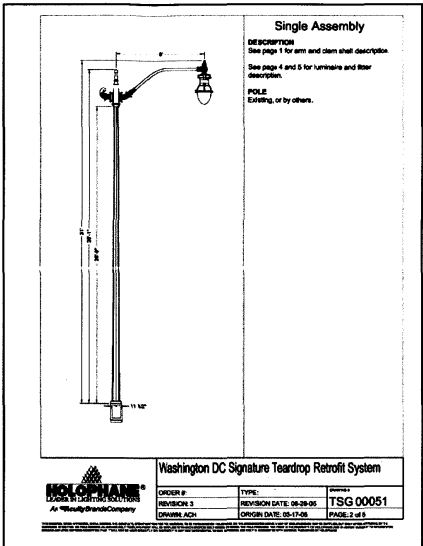
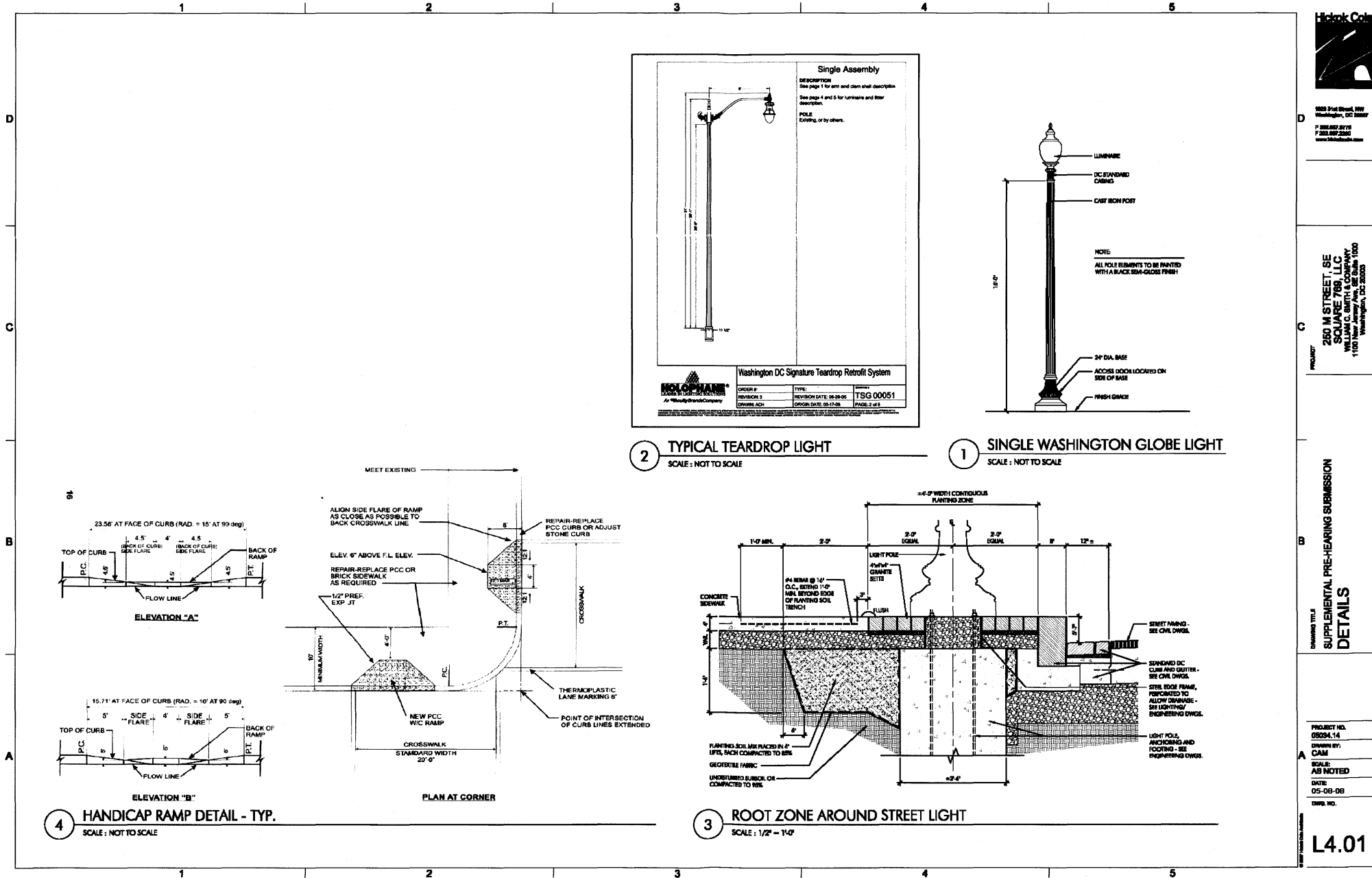
6 CONCRETE PLANTER CURB
SCALE: 3/4" = 1'-0"



7 TREE PLANTER GUARD
SCALE: 1/2" = 1'-0"



8 CONTINUOUS ROOT ZONE W/ PAVERS
SCALE: 1/2" = 1'-0"

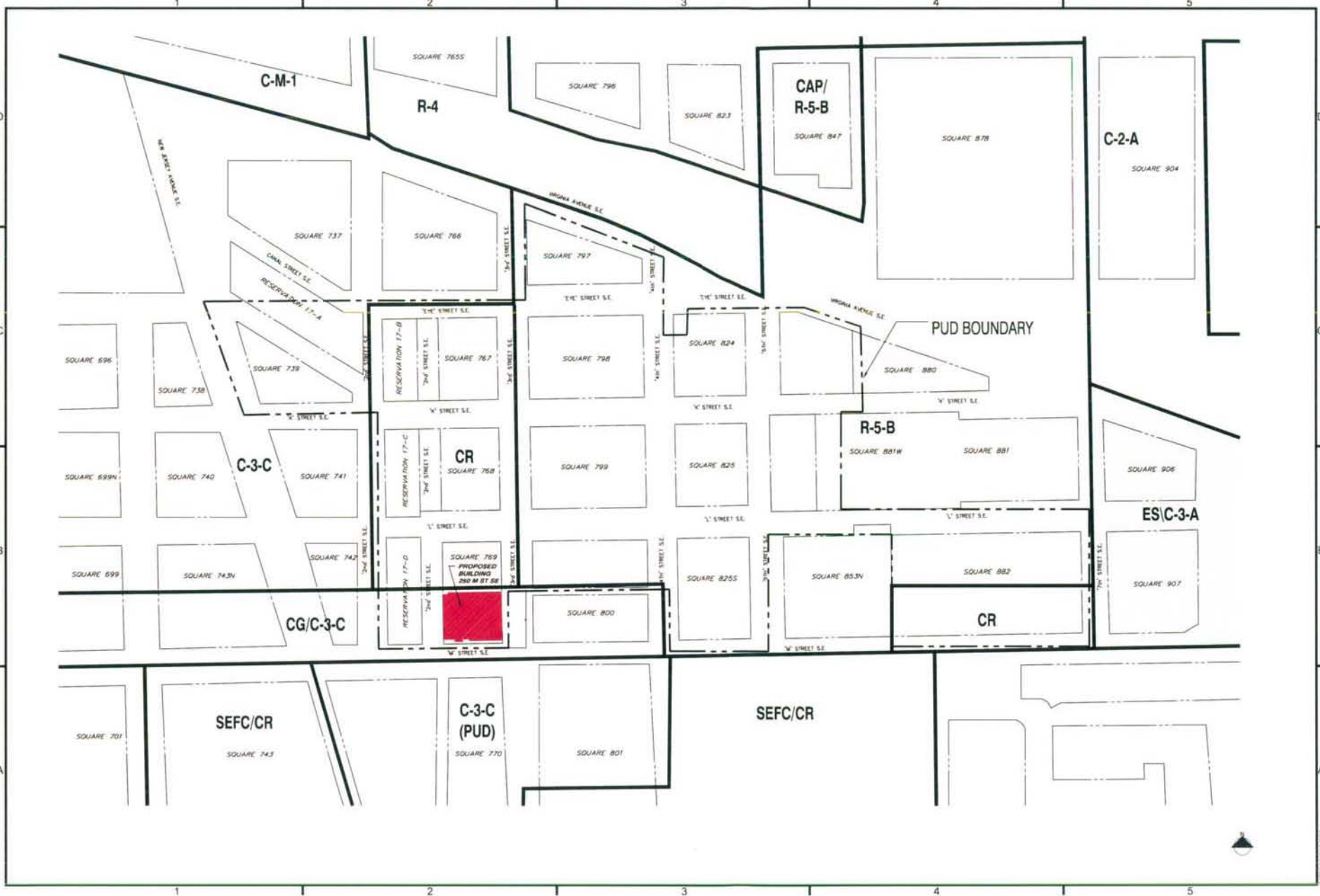


PROJECT: 260 M STREET SE
SQUARE 789, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave., SE Suite 1000
Washington, DC 20003

DRAWING TITLE: SUPPLEMENTAL PRE-HEARING SUBMISSION DETAILS

PROJECT NO. 05034.14
DRAWN BY: CAM
SCALE: AS NOTED
DATE: 05-08-08
DWG. NO.

L4.01



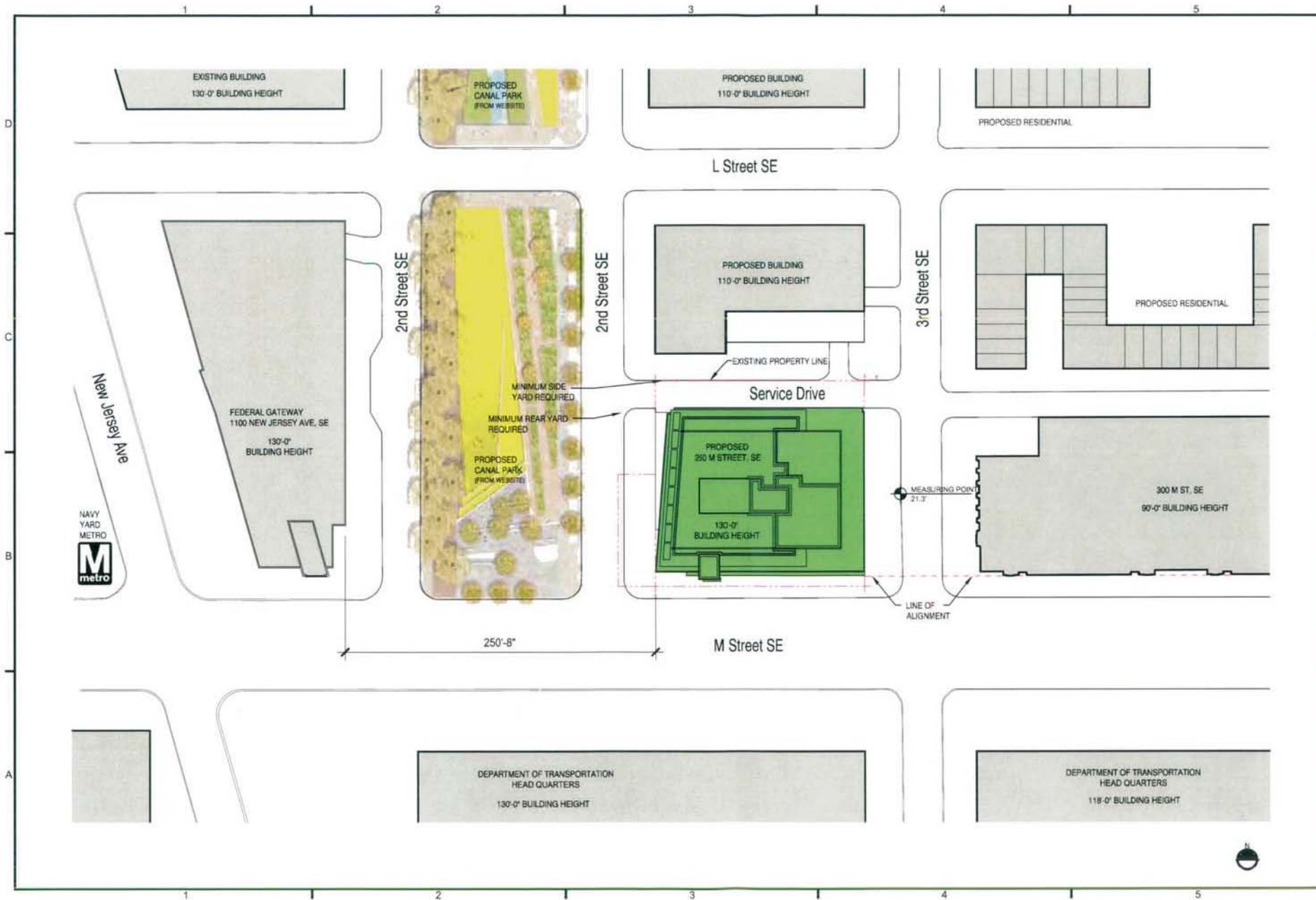
1011 11th Street, NW
Washington, DC 20001
P: 202-462-4770
F: 202-462-1276
www.hobbscole.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
1100 New Jersey Ave. SE, Suite 1000
Washington, DC 20003



DRAWING TITLE
PROJECT NO.
05034.14
DRAWN BY
CMN
SCALE
1" = 250.0'
DATE
05-08-08
DWG. NO.

A0.01



1005 27th Street, NW
 Washington, DC 20007
 P: 202.681.4700
 F: 202.681.1200
 www.holtekcole.com

PROJECT:
 250 M STREET, SE
 SQUARE 789, LLC
 1100 New Jersey Ave, SE, Suite 1000
 Washington, DC 20003



PROJECT NO:
 08034_14
 DRAWN BY:
 E.B. CMVN
 SCALE:
 1" = 70'-0"
 DATE:
 05-08-08
 SHEET NO:

A0.02

1 2 3 4 5

D

Looking southwest from the intersection of New Jersey Ave and M Street, SE Navy Yard Metro Entrance



Looking west from the intersection of 3rd Street, SE and L Street, SE Residential in foreground Hotel in center background 1100 New Jersey Ave building in left background



Looking northeast from the intersection of 3rd Street, SE and L Street, SE Residential

C



Looking southeast from the intersection of L Street, SE and 2nd Street, SE Department of Transportation Headquarters with 300 M Street in left foreground



1100 New Jersey Ave, SE Federal Gateway Building M Street (South) Facade



1100 New Jersey Ave, SE Federal Gateway Building New Jersey Ave (West) Facade

Looking north from the intersection of M Street, SE and 3rd Street, SE 300 M Street office building



B



Department of Transportation Headquarters



1100 New Jersey Avenue

250 M Street, SE Site



300 M Street, SE

A



1000 1/2 1st Street, NE
Atlanta, GA 30309
404.525.8700
www.hydrokcolor.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave, SE
Washington, DC 20002

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
SITE CONTEXT

PROJECT NO
05034.14
DRAWN BY
CLW
SCALE
N/T
DATE
05-08-08
DWG. NO.

A0.04



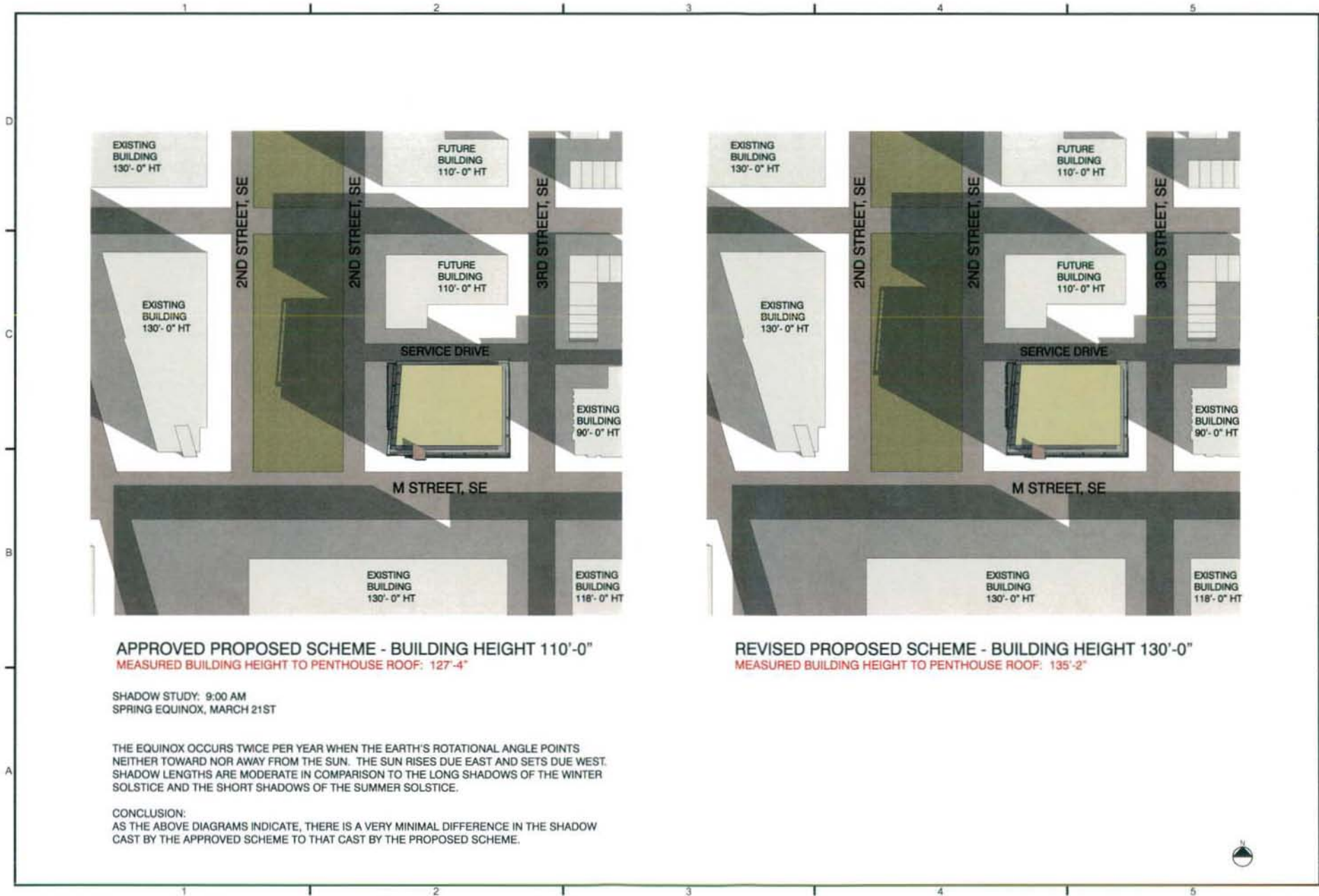
1023 14th Street, NW
 Washington, DC 20005
 P: 202.462.5700
 F: 202.462.5700
 www.hickocole.com

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1101 Wisconsin Avenue, NW
 Washington, DC 20005

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 SITE SHADOW STUDY

PROJECT NO.
 05034_14
 DRAWN BY
 KV, CV
 SCALE
 1"=120'
 DATE
 05-08-08
 DWG NO.

AC.04A



APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

REVISED PROPOSED SCHEME - BUILDING HEIGHT 130'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 135'-2"

SHADOW STUDY: 9:00 AM
 SPRING EQUINOX, MARCH 21ST

THE EQUINOX OCCURS TWICE PER YEAR WHEN THE EARTH'S ROTATIONAL ANGLE POINTS NEITHER TOWARD NOR AWAY FROM THE SUN. THE SUN RISES DUE EAST AND SETS DUE WEST. SHADOW LENGTHS ARE MODERATE IN COMPARISON TO THE LONG SHADOWS OF THE WINTER SOLSTICE AND THE SHORT SHADOWS OF THE SUMMER SOLSTICE.

CONCLUSION:
 AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.





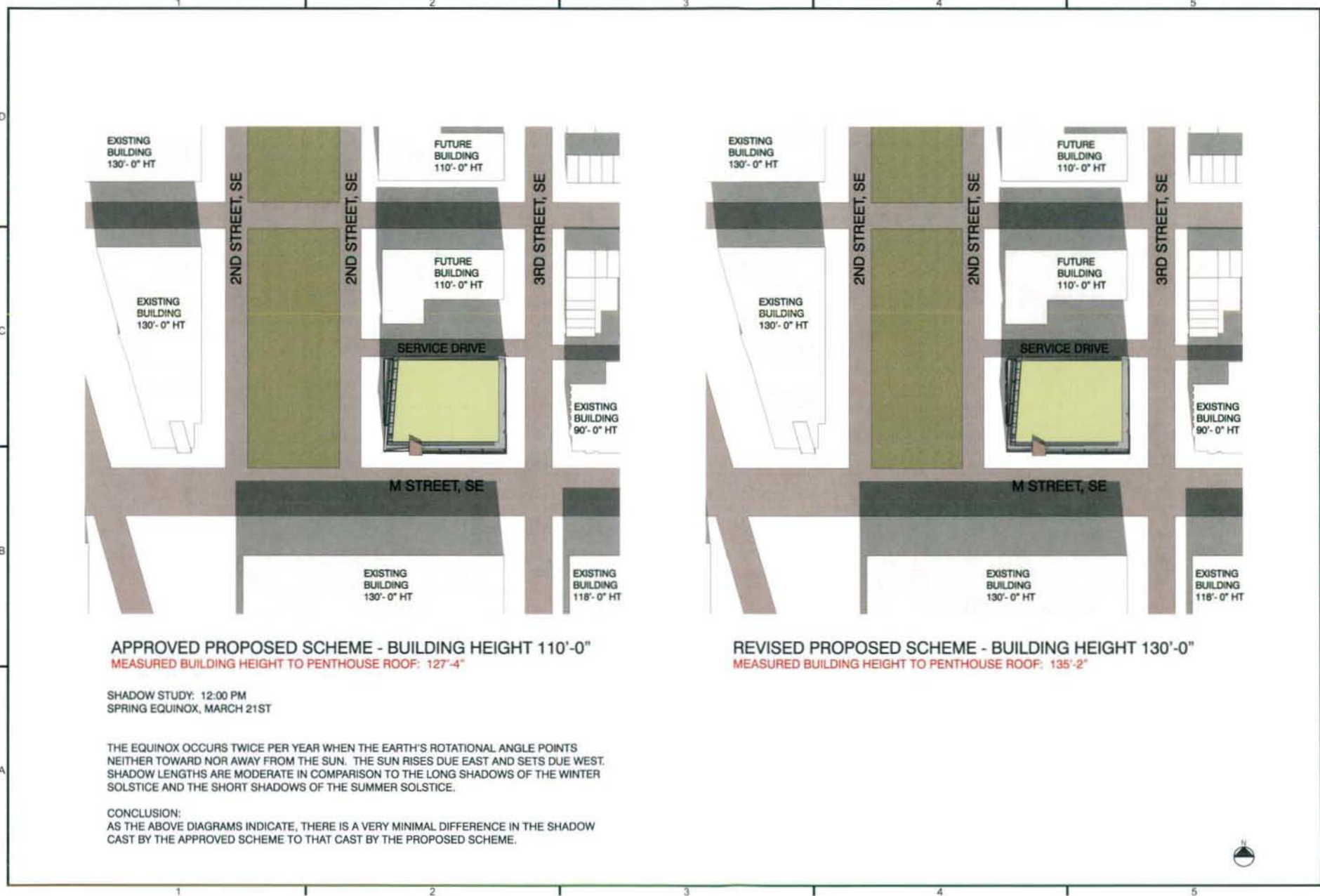
1000 17th Street NW
 Washington, DC 20036
 Tel: 202-462-5200
 Fax: 202-462-5201
 www.hatch.com

PROJECT:
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 Maryland Avenue, NE
 Washington, DC 20002

DRAWING TITLE:
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 SITE SHADOW STUDY

PROJECT NO:
 05034.14
 DRAWN BY:
 C/VL, JCV
 SCALE:
 1/8" = 1'-0"
 DATE:
 05-08-08
 DWG. NO.

AO.04B



APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

REVISED PROPOSED SCHEME - BUILDING HEIGHT 130'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 135'-2"

SHADOW STUDY: 12:00 PM
 SPRING EQUINOX, MARCH 21ST

THE EQUINOX OCCURS TWICE PER YEAR WHEN THE EARTH'S ROTATIONAL ANGLE POINTS NEITHER TOWARD NOR AWAY FROM THE SUN. THE SUN RISES DUE EAST AND SETS DUE WEST. SHADOW LENGTHS ARE MODERATE IN COMPARISON TO THE LONG SHADOWS OF THE WINTER SOLSTICE AND THE SHORT SHADOWS OF THE SUMMER SOLSTICE.

CONCLUSION:
 AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.





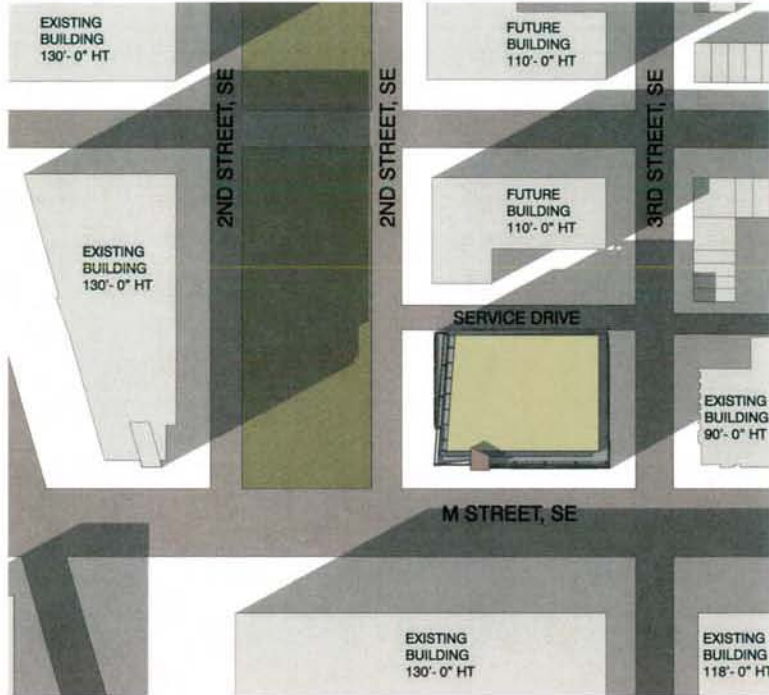
1333 FALCON DRIVE
 WASHINGTON, DC 20004
 P 202.775.2200
 F 202.775.2201
 WWW.HICKOKCOLE.COM

PROJECT NO.
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1105 WASHINGTON BLVD
 WASHINGTON, DC 20003

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 SITE SHADOW STUDY

PROJECT NO.
 05034.14
 DRAWN BY
 CWN
 SCALE
 1" = 1'-0"
 DATE
 05-08-08
 DWG. NO.

A0.04C

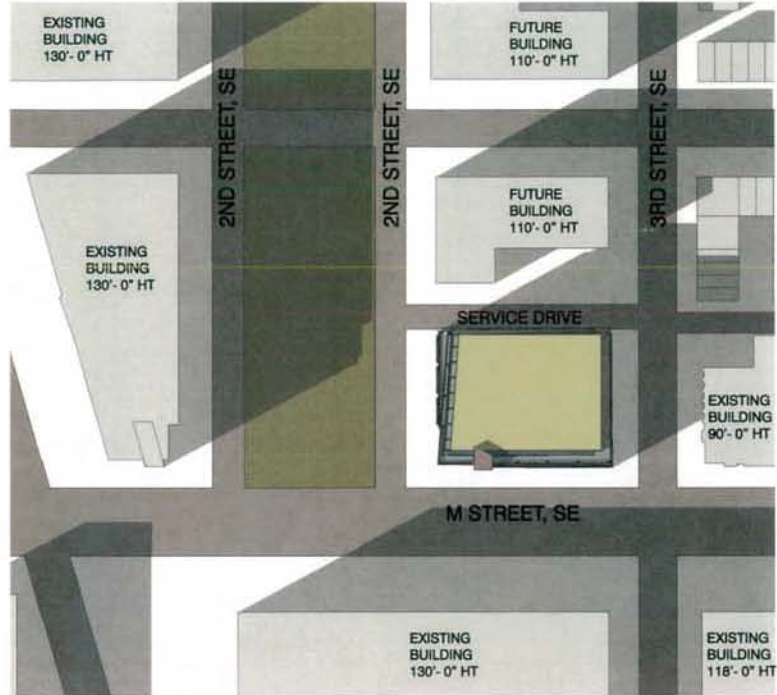


APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

SHADOW STUDY: 3:30 PM
 SPRING EQUINOX, MARCH 21ST

THE EQUINOX OCCURS TWICE PER YEAR WHEN THE EARTH'S ROTATIONAL ANGLE POINTS NEITHER TOWARD NOR AWAY FROM THE SUN. THE SUN RISES DUE EAST AND SETS DUE WEST. SHADOW LENGTHS ARE MODERATE IN COMPARISON TO THE LONG SHADOWS OF THE WINTER SOLSTICE AND THE SHORT SHADOWS OF THE SUMMER SOLSTICE.

CONCLUSION:
 AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.



REVISED PROPOSED SCHEME - BUILDING HEIGHT 130'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 135'-2"





1075 The Square, NW
Washington, DC 20004
P: 202-637-5776
F: 202-637-2288
www.hickokcole.com

PROJECT NO.
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 Wisconsin Avenue, NW
Washington, DC 20005

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
SITE SHADOW STUDY

PROJECT NO.
05034-14
DRAWN BY
CVN
SCALE
1"=130'
DATE
05-08-08
DWG. NO.

A0.04D

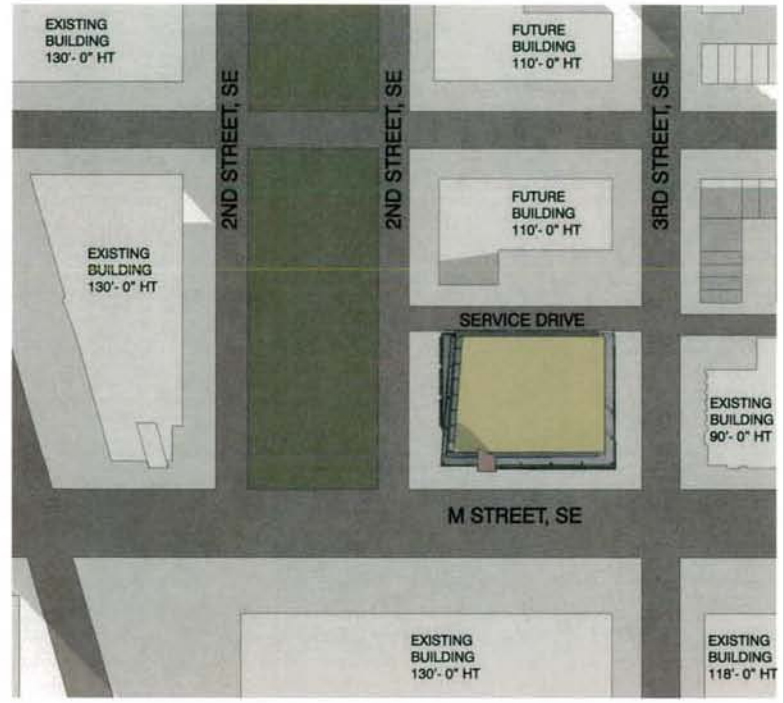


APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

SHADOW STUDY: 9:00 AM
WINTER SOLSTICE, DECEMBER 21ST

THE WINTER SOLSTICE OCCURS WHEN THE EARTH'S ROTATIONAL ANGLE IS AT MINUS 23.5 DEGREES WITH RESPECT TO THE SUN. SHADOW LENGTHS ARE TYPICALLY AT THEIR LONGEST BECAUSE THE SUN IS AT ITS LOWEST POSITION IN THE SKY.

CONCLUSION:
AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.

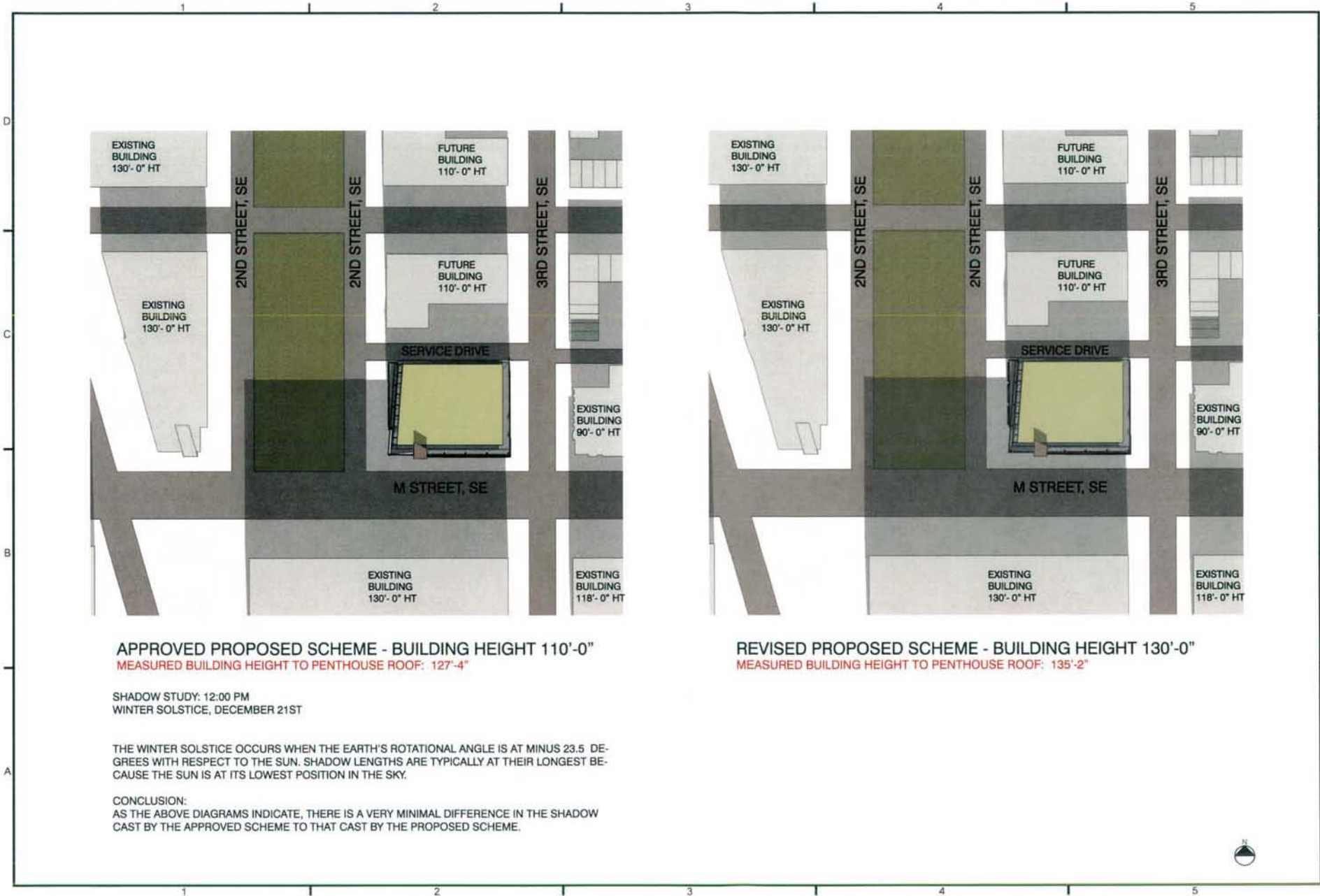


REVISED PROPOSED SCHEME - BUILDING HEIGHT 130'-0"
MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 135'-2"





1000 THE KENNEL COTTAGE
 WASHINGTON, DC 20007
 P 202 331 0714
 F 202 331 1295
 WWW.HANKCOLE.COM



PROJECT NO:
 05034 14
 DRAWN BY:
 CWN
 SCALE:
 1/4" = 1'-0"
 DATE:
 05-08-08
 DWG. NO:
 A0.04E

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 SITE SHADOW STUDY

PROJECT NO:
 05034 14
 DRAWN BY:
 CWN
 SCALE:
 1/4" = 1'-0"
 DATE:
 05-08-08
 DWG. NO:
 A0.04E

A0.04E

APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

SHADOW STUDY: 12:00 PM
 WINTER SOLSTICE, DECEMBER 21ST

THE WINTER SOLSTICE OCCURS WHEN THE EARTH'S ROTATIONAL ANGLE IS AT MINUS 23.5 DEGREES WITH RESPECT TO THE SUN. SHADOW LENGTHS ARE TYPICALLY AT THEIR LONGEST BECAUSE THE SUN IS AT ITS LOWEST POSITION IN THE SKY.

CONCLUSION:
 AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.





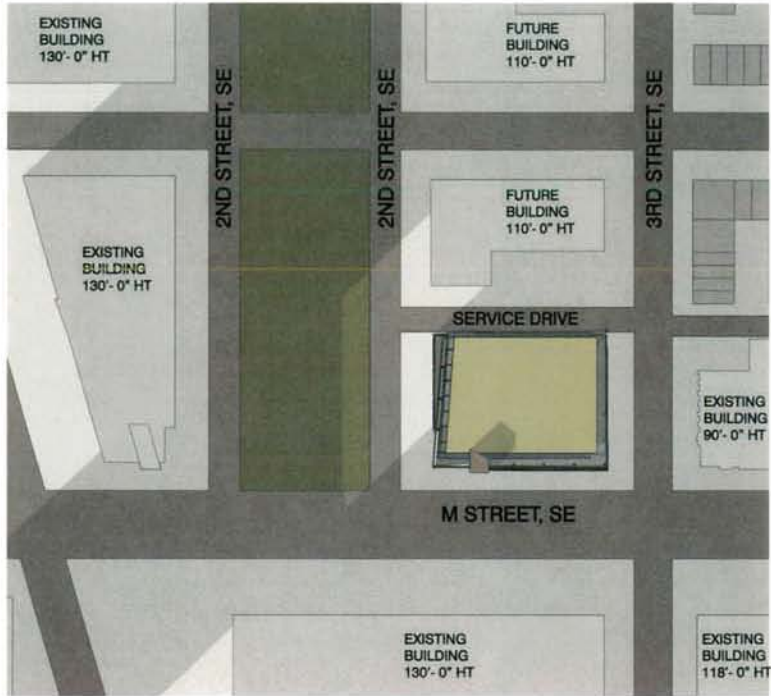
1012 The Green Way
 Washington, DC 20007
 P 202 262 2110
 F 202 262 2200
 www.hobartcole.com

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 ATTORNEY: C. JAMES R. COOPER, JR.
 1100 Wisconsin Avenue, NW
 Washington, DC 20005



PROJECT NO.
 05034-14
 DESIGN BY
 CVN
 SCALE
 1/4"=1'-0"
 DATE
 05-09-08
 DRAWING NO.

A0.04F



APPROVED PROPOSED SCHEME - BUILDING HEIGHT 110'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 127'-4"

SHADOW STUDY: 3:30 PM
 WINTER SOLSTICE, DECEMBER 21ST

THE WINTER SOLSTICE OCCURS WHEN THE EARTH'S ROTATIONAL ANGLE IS AT MINUS 23.5 DEGREES WITH RESPECT TO THE SUN. SHADOW LENGTHS ARE TYPICALLY AT THEIR LONGEST BECAUSE THE SUN IS AT ITS LOWEST POSITION IN THE SKY.

CONCLUSION:
 AS THE ABOVE DIAGRAMS INDICATE, THERE IS A VERY MINIMAL DIFFERENCE IN THE SHADOW CAST BY THE APPROVED SCHEME TO THAT CAST BY THE PROPOSED SCHEME.



REVISED PROPOSED SCHEME - BUILDING HEIGHT 130'-0"
 MEASURED BUILDING HEIGHT TO PENTHOUSE ROOF: 135'-2"





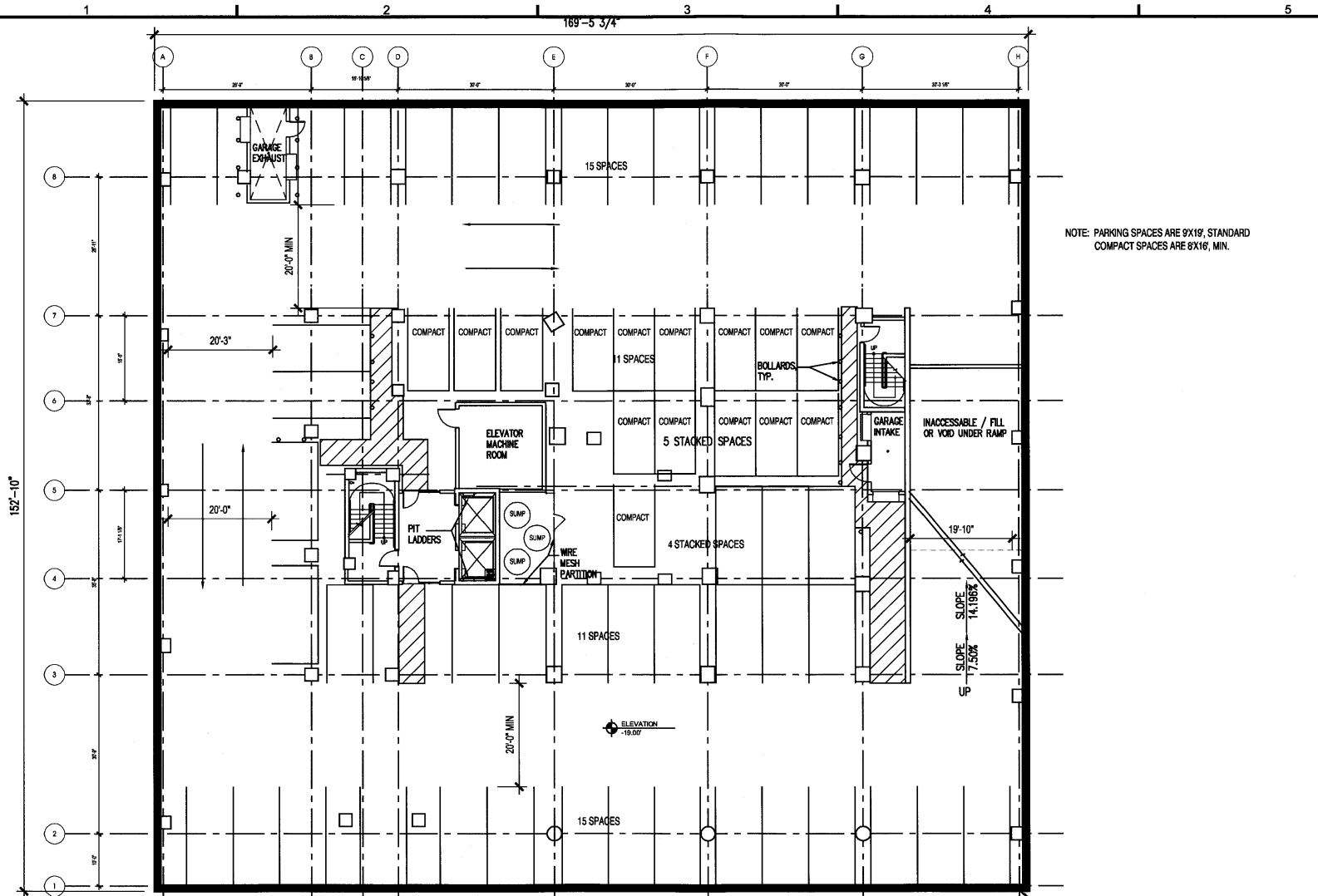
1023 31st Street, NW
Washington, DC 20007
P 202.687.0710
F 202.667.2260
www.hickokcole.com

PROJECT
250 M STREET, SE
SQUARE 709, LLC
1100 New Jersey Ave. SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
P-4 PARKING LEVEL PLAN

PROJECT NO.
05034.14
DRAWN BY:
CMN
SCALE:
1" = 20'-0"
DATE:
05-08-08
DWG. NO.

A1.01



TOTAL PARKING SPACES

LEVEL	# OF SPACES								TOTAL
	REGULAR				HANDICAP		STACKED		
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT	
P1	18	12	3	6	2	2	-	6	47
P2	33	-	9	6	3	-	3	8	62
P3	46	-	-	6	-	-	3	8	63
P4	43	-	-	9	-	-	3	6	61
TOTAL	138	12	12	27	5	2	9	28	233

PROPERTY LINE
NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.
TOTAL SPACES REQUIRED BY ZONING: 150
TOTAL SPACES PROVIDED: 233 (37 STACKED, 196 NON-STACKED)



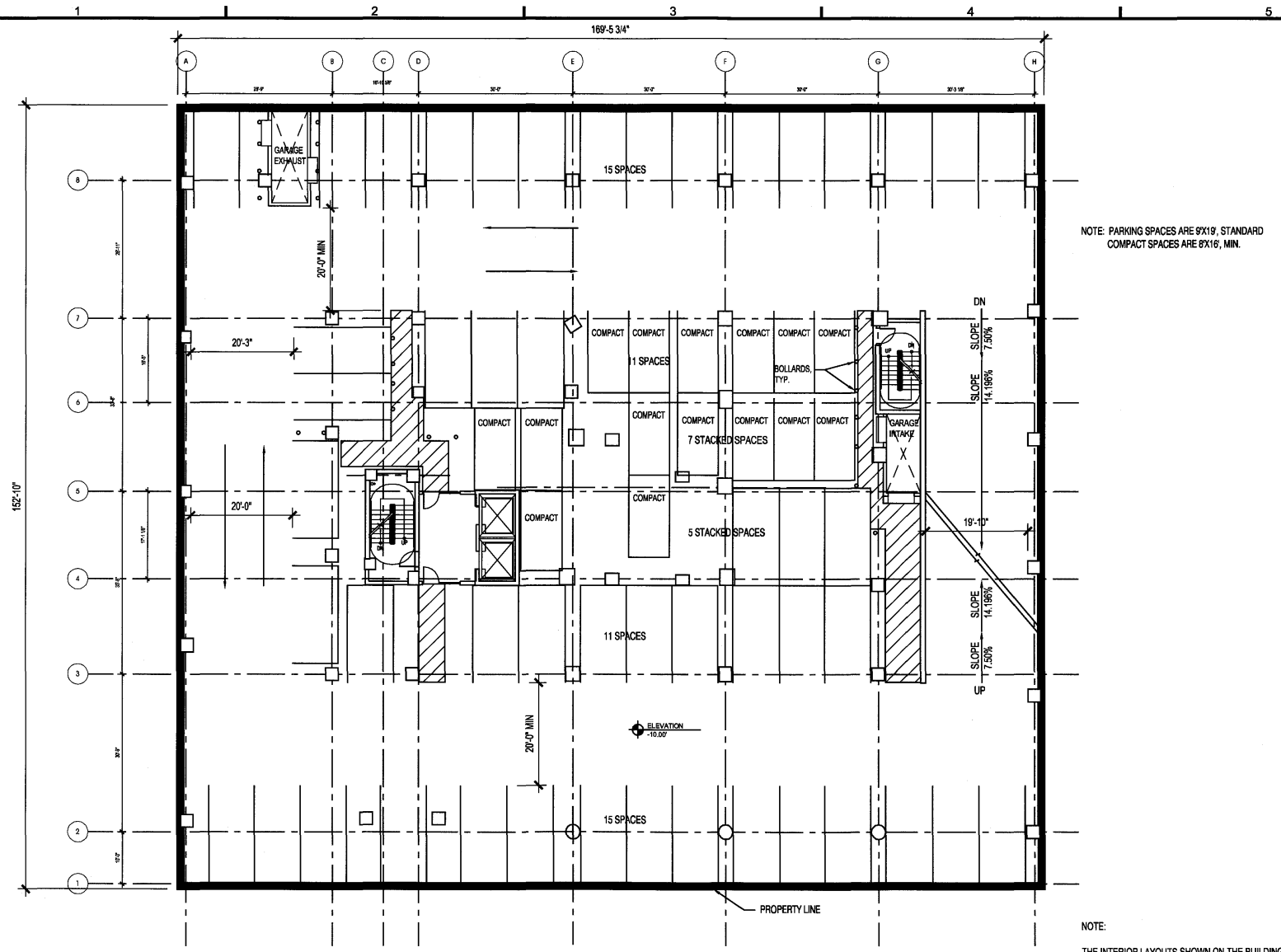
1023 31st Street, NW
Washington, DC 20007
P 202.687.9776
F 202.687.3289
www.hickokcole.com

PROJECT:
260 M STREET, SE
SQUARE 709, LLC
WILSON PARKWAY
1100 New Jersey Ave. SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
P-3 PARKING LEVEL PLAN

PROJECT NO.
05034.14
DRAWN BY:
CMN
SCALE:
1" = 20'-0"
DATE:
05-08-08
DWG. NO.

A1.02



LEVEL	# OF SPACES								TOTAL
	REGULAR				HANDICAP		STACKED		
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT	
P3	46	-	-	6	-	-	3	8	63



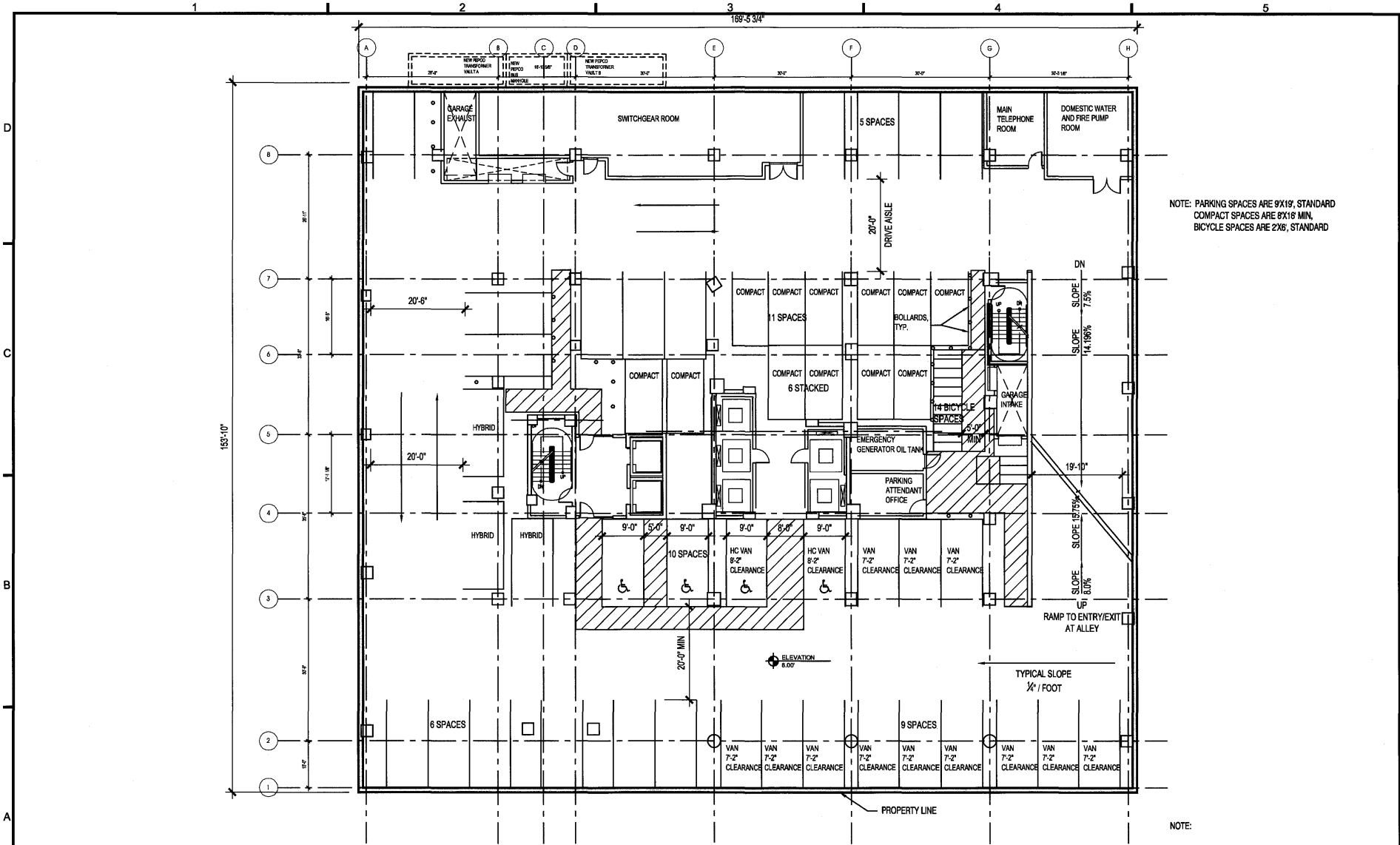
1023 31st Street, NW
Washington, DC 20007
P 202.261.0718
F 202.467.2280
www.hickokcole.com

PROJECT
250 M STREET, SE
SQUARE 709, LLC
1100 New Jersey Ave., SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
P-1 PARKING LEVEL PLAN

PROJECT NO.
08034.14
DRAWN BY:
CMN
SCALE:
1" = 20'-0"
DATE:
05-08-08
DWG. NO.

A1.04



NOTE: PARKING SPACES ARE 9'X19', STANDARD
COMPACT SPACES ARE 8'X18' MIN,
BICYCLE SPACES ARE 2'X6', STANDARD

LEVEL	TOTAL PARKING SPACES									
	REGULAR			HANDICAP			STACKED			TOTAL
	STANDARD	VAN	HYBRID	COMPACT	STANDARD	VAN	STANDARD	COMPACT		
P1	16	12	3	6	2	2	-	6	47	

NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

2007 CMN.COM/CMN



1023 31st Street, NW
Washington, DC 20057
P 202.687.9976
F 202.687.2290
www.hickokcole.com

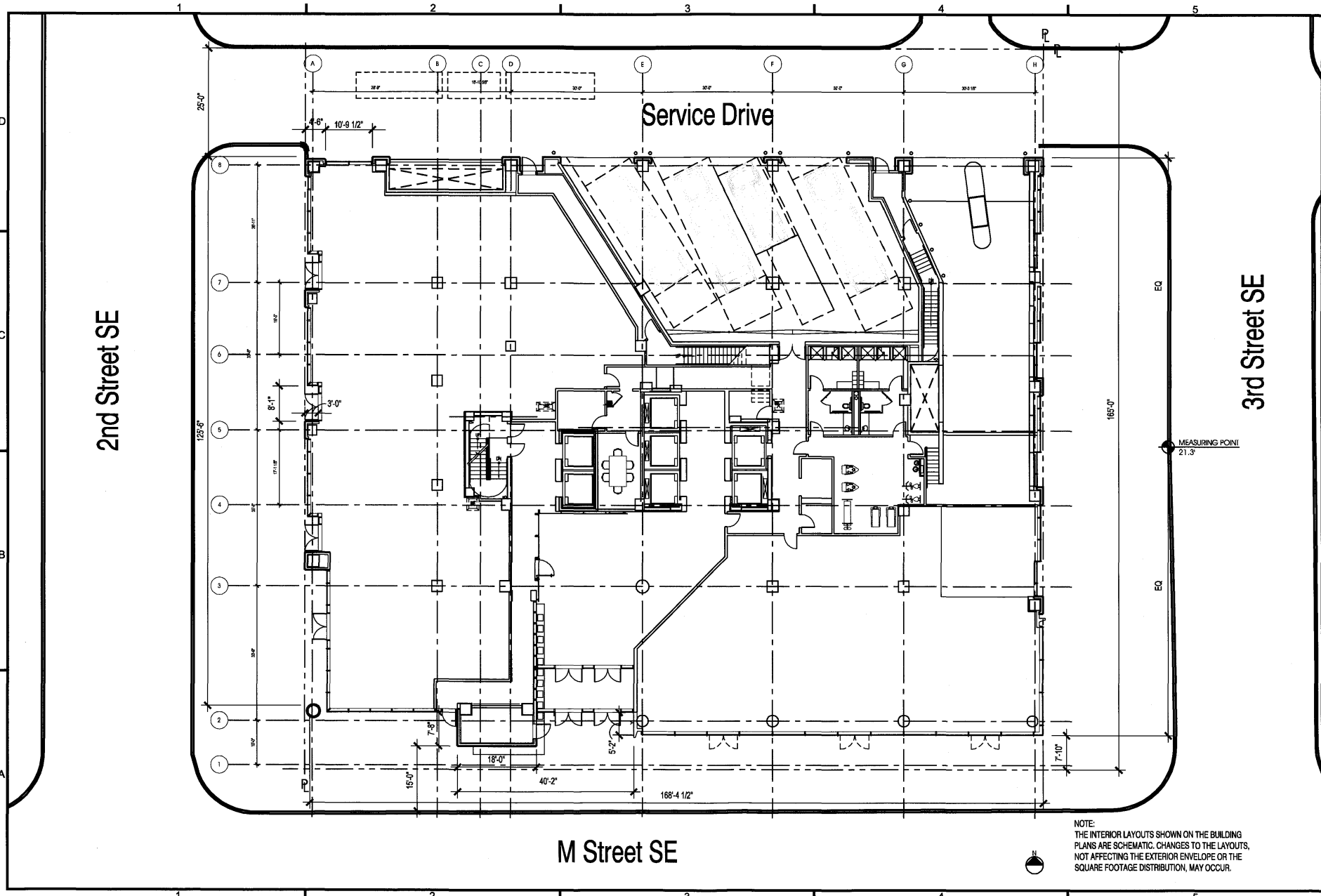
PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 Washington Blvd
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
SITE PLAN AND FIRST FLOOR PLAN

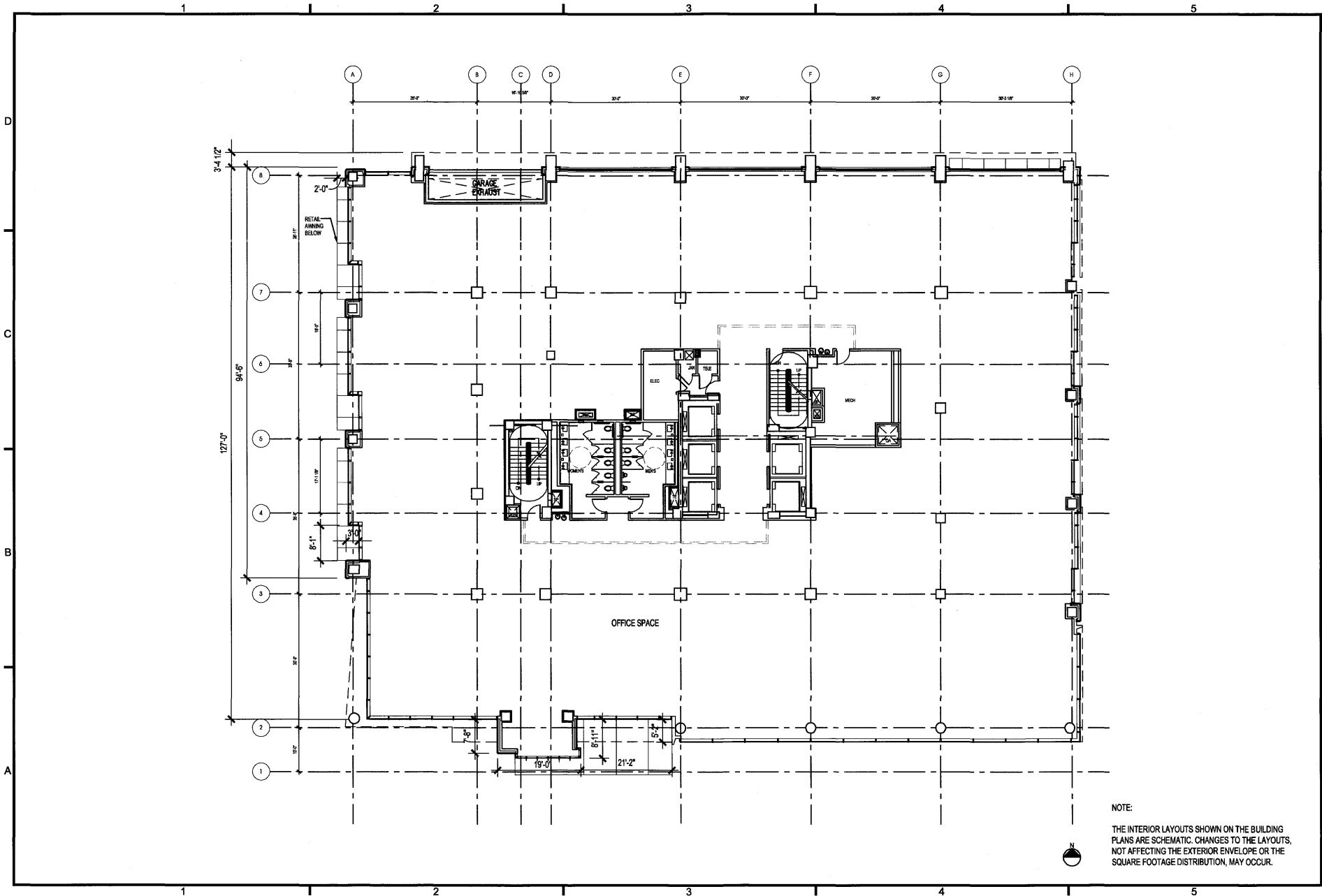
PROJECT NO.
05034.14
DRAWN BY:
CMN, KM, EB
SCALE:
1" = 20'-0"
DATE:
05-08-08
DWG. NO.

A1.05

DATE PLOTTED: 05/08/08



NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
 PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
 NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
 SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



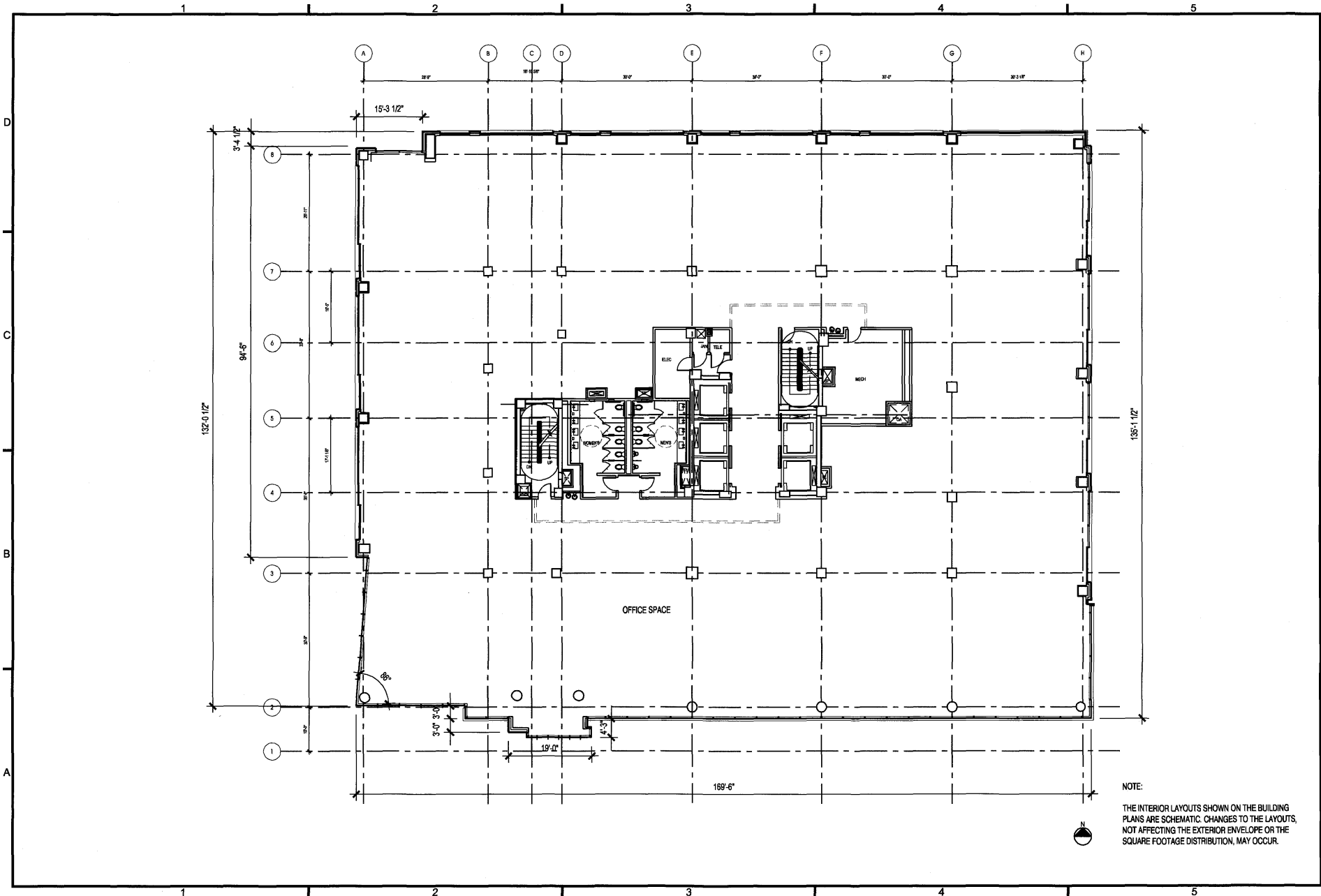
1023 31st Street, NW
 Washington, DC 20007
 P 202.687.9776
 F 202.681.2269
 www.hokkcole.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
 1100 New Jersey Avenue, SE Suite 1000
 Washington, DC 20003

DRWNS TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
SECOND FLOOR PLAN

PROJECT NO.
 05034.14
 DRAWN BY:
 CMN, KM, JM, EB
 SCALE:
 1" = 20'-0"
 DATE:
 05-08-08
 DWG. NO.

250 M STREET, SE
A1.06



1023 31st Street, NW
 Washington, DC 20007
 P 202.467.0718
 F 202.467.2260
 www.hickokcole.com

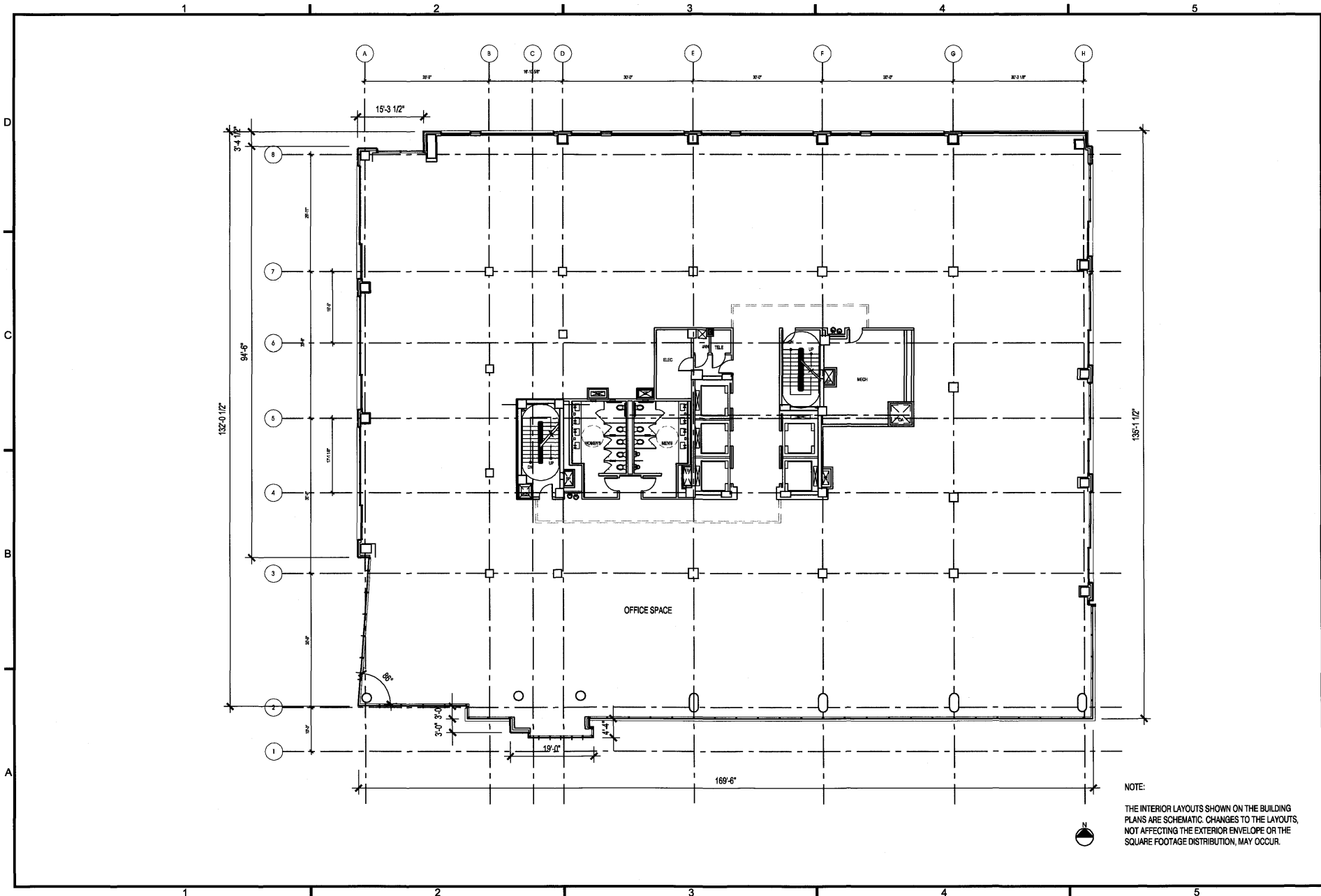
PROJECT
 250 M STREET, SE
 SQUARE 709, LLC
 1100 New Jersey Ave. SE Suite 1000
 Washington, DC 20003

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 TYPICAL THIRD THRU SEVENTH FLOOR PLAN

PROJECT NO.
 05034.14
 DRAWN BY:
 CMN, KM, JM, EB
 SCALE:
 1" = 20'-0"
 DATE:
 05-08-08
 DWG. NO.

A1.07

NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



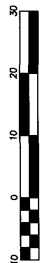
NOTE:
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.



1023 31st Street, NW
 Washington, DC 20037
 P 202.687.0700
 F 202.687.2200
 www.hickokcole.com

PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 LAW & SMITH LLP
 1100 Washington, DC 20005

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 EIGHTH FLOOR PLAN



PROJECT NO.
 05034.14
 DRAWN BY:
 CMN
 SCALE:
 1" = 20'-0"
 DATE:
 05-08-08
 DWG. NO.

A1.08



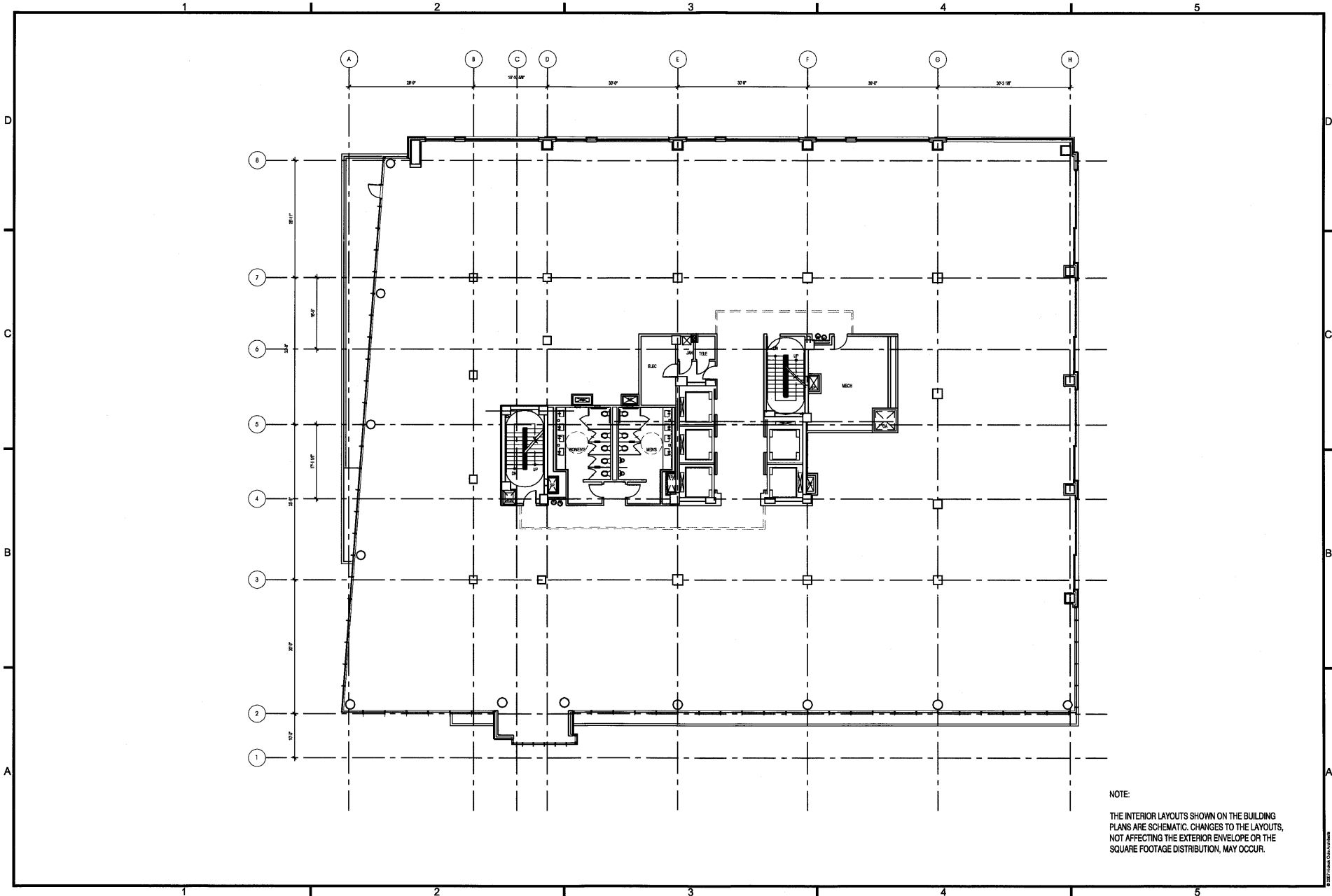
1023 31st Street, NW
Washington, DC 20007
P 202.687.9776
F 202.687.2269
www.hickokcole.com

PROJECT
260 M STREET, SE
SQUARE 769, LLC
1100 New Jersey Ave, SE
Sub 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
TYPICAL NINTH THRU TENTH FLOOR PLAN

PROJECT NO
05034.14
DRAWN BY
A CMN
SCALE
1" = 20'-0"
DATE
05-08-08
DWS. NO.

A1.09



NOTE:
THE INTERIOR LAYOUTS SHOWN ON THE BUILDING
PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS,
NOT AFFECTING THE EXTERIOR ENVELOPE OR THE
SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR.

2007/05/08 CMN/PAW



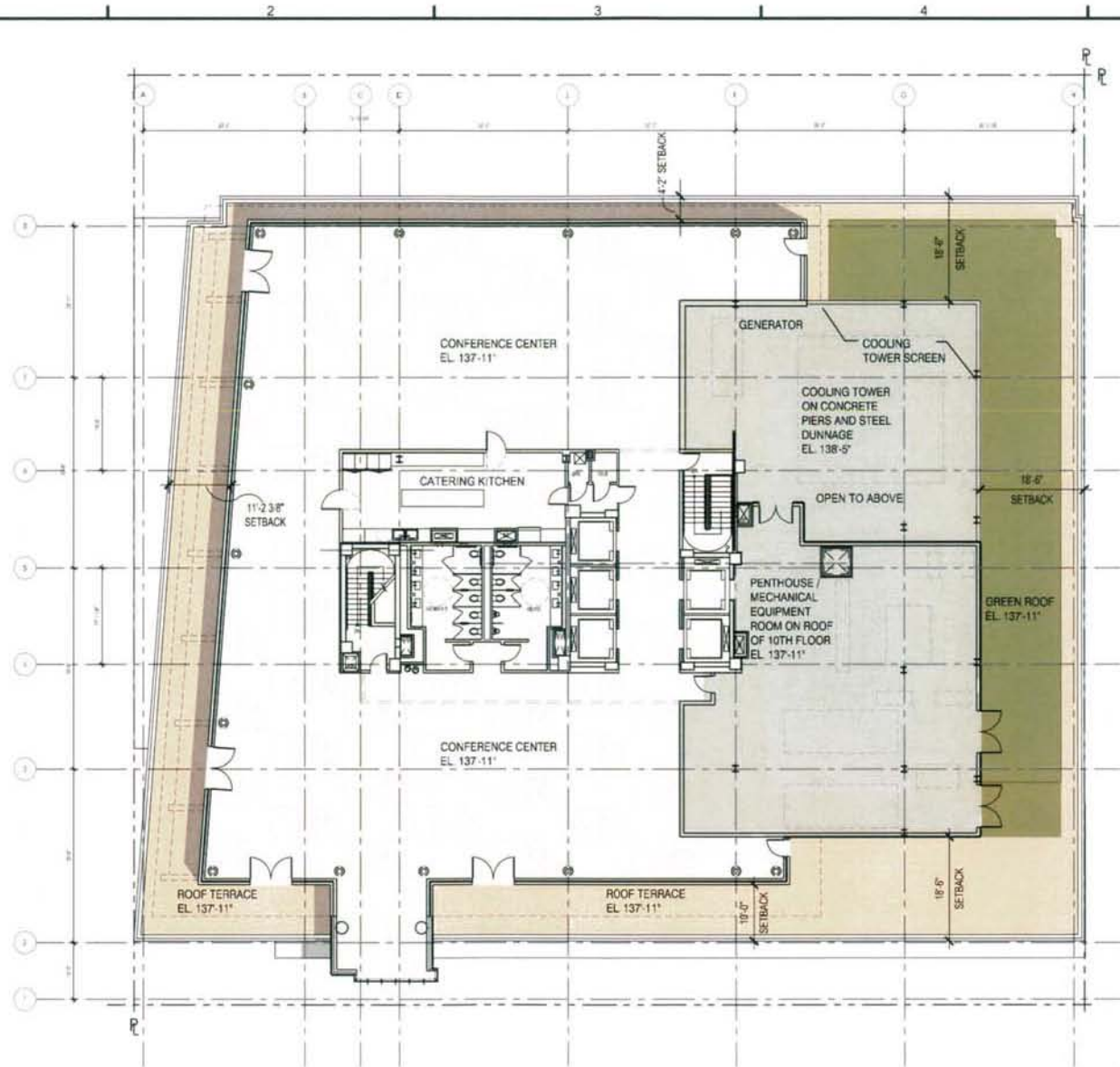
1111 17th Street, NW
 Washington, DC 20036
 P 202 462-1234
 F 202 462-1235
 www.hobas.com

PROJECT NO.
**250 M STREET, SE
 SQUARE 769, LLC**
 WILLIAM C. SMITH & COMPANY
 1100 Wisconsin Avenue, N.W.
 Washington, DC 20005

ISSUING TITLE
**SUPPLEMENTAL PRE-HEARING SUBMISSION
 11TH FLOOR PLAN**

PROJECT NO.
 DESIGNER
 DRAWN BY
 SCALE
 DATE
 DATE

A1.10



NOTE
 THE INTERIOR LAYOUTS SHOWN ON THE BUILDING PLANS ARE SCHEMATIC. CHANGES TO THE LAYOUTS, NOT AFFECTING THE EXTERIOR ENVELOPE OR THE SQUARE FOOTAGE DISTRIBUTION, MAY OCCUR





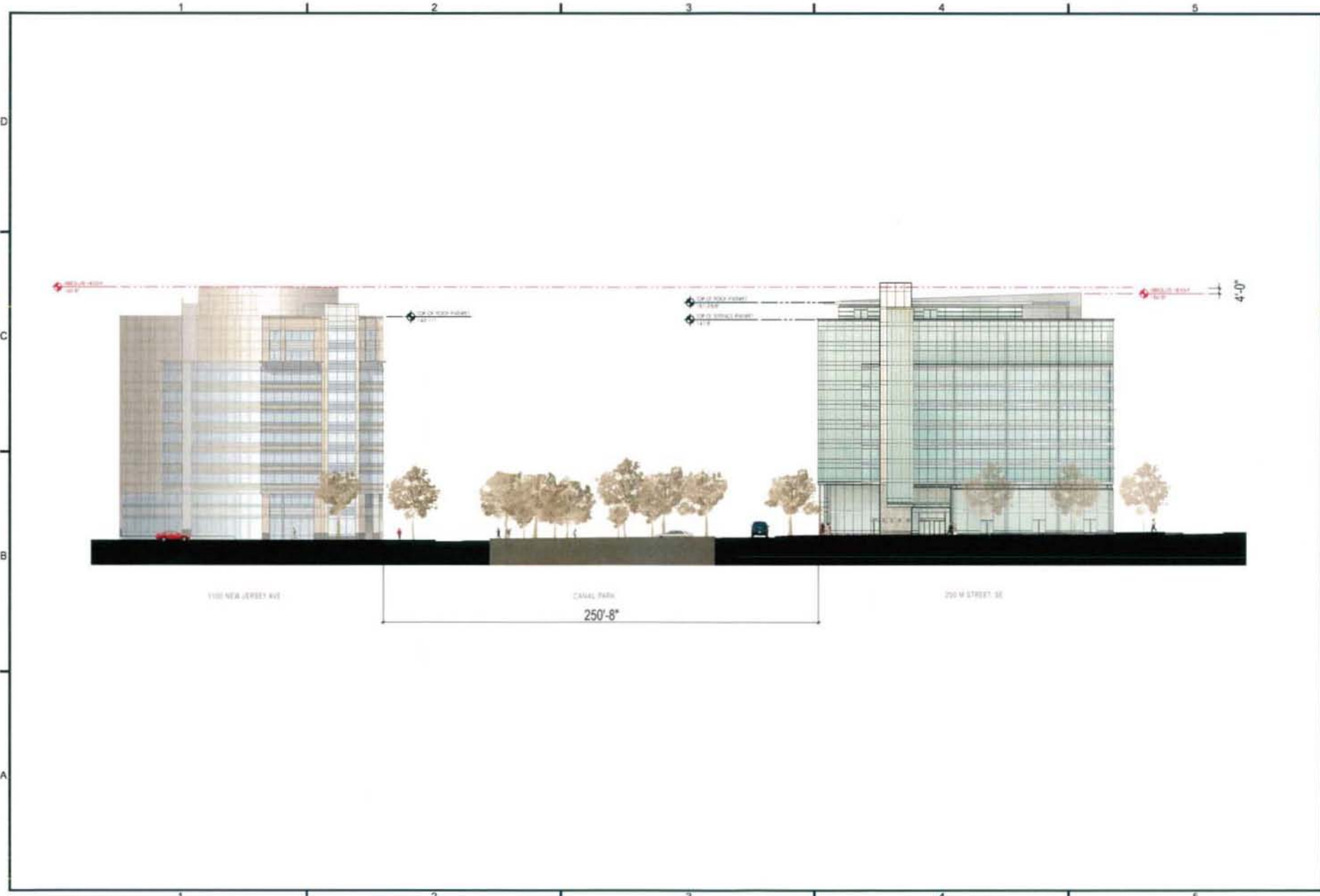
1223 The Street, NW
 Washington, DC 20005
 P: 202.462.4700
 F: 202.462.2280
 www.hobascorp.com

PROJECT
**250 M STREET, SE
 SQUARE 789, LLC**
 900 New Jersey Ave. SE Suite 1000
 Washington, DC 20003

DRAWING TITLE
**SUPPLEMENTAL PRE-HEARING SUBMISSION
 EXTENDED M STREET (SOUTH) ELEVATION**

PROJECT NO
 DDCM 14
 DRAWN BY
 CMA, J.E. KM
 SCALE
 1" = 50' 0"
 DATE
 05-08-08
 DRAW. NO.

A2.01A





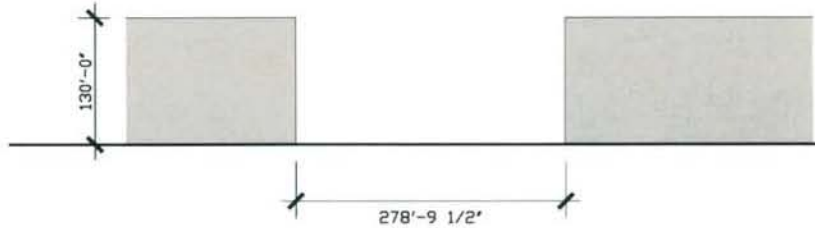
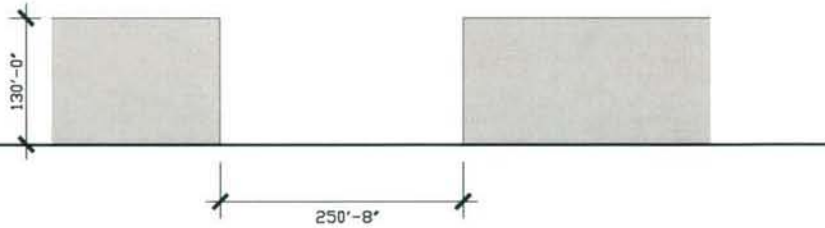
1223 31st Street, NW
Washington, DC 20007
P 202.462.2720
F 202.462.2280
www.hinkco.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 Connecticut Avenue, NW
Washington, DC 20006



PROJECT NO.
05034.14
DRAWN BY
C.M.V.
SCALE
1" = 50'-0"
DATE
05-08-08
DWG. NO.

A2.01Ai



CANAL PARK
M STREET & 2ND STREET, SE

JOHN MARSHALL PARK
C STREET & CONSTITUTION AVENUE, NW

NOTE:
ALL BUILDING HEIGHTS ARE SHOWN AT 100' UP



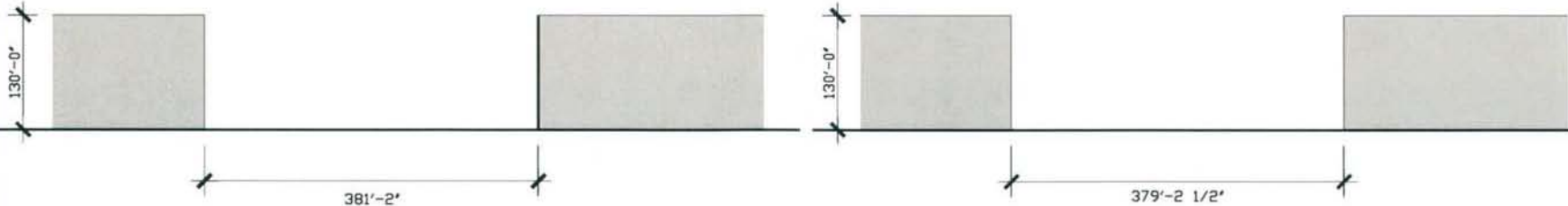
1223 21st Street NW
Washington, DC 20037
P 202 467 5376
F 202 467 2288
www.hatchco.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1150 11th Street, NW
Washington, DC 20003



PROJECT NO: 05034-14
OWNER: CIVIL
SCALE: 1" = 50' 0"
DATE: 05-08-08
DRAWING NO:

A2.01Aii



FARRAGUT SQUARE
K STREET & CONNECTICUT AVENUE, NW

McPHERSON SQUARE
K STREET & 15TH STREET, NW

NOTE:
ALL BUILDING HEIGHTS ARE SHOWN AT 100'

1 2 3 4 5

D
C
B
A



1 2 3 4 5



1025 31st Street, NW
Washington, DC 20007
P 202 462 7370
F 202 462 7296
www.hok.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
1100 New Jersey Ave, SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
BUILDING PERSPECTIVE IN CONTEXT

PROJECT NO
05CM 14
DRAWN BY
J.S. CN
SCALE
N/S
DATE
05-08-08
DWG NO

A2.01B



1100 21st Street, NW
Washington, DC 20037
P: (202) 897-2700
F: (202) 897-2288
www.hidinkcoia.com

PROJECT
250 M STREET, SE
SQUARE 769, LLC
1100 New Jersey Ave. SE, Suite 1100
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
BUILDING PERSPECTIVE

PROJECT NO.
00034 SE
DRAWN BY
CLM, EB
SCALE
N/A
DATE
05-08-08
DWG. NO.

A2.01C



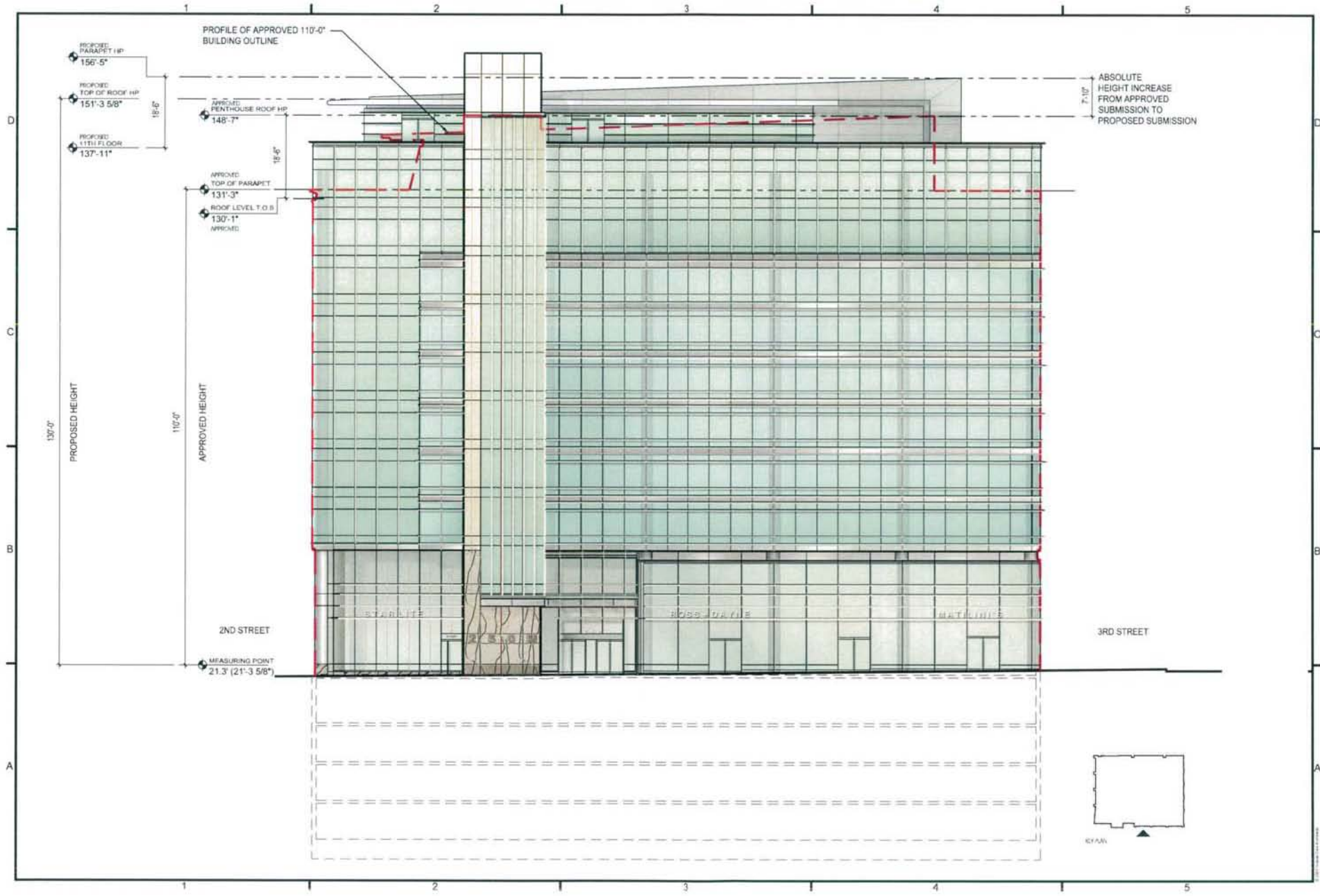
1000 P St. NW
Washington, DC 20004
P: 202.462.2121
F: 202.462.2122
www.hobokcole.com

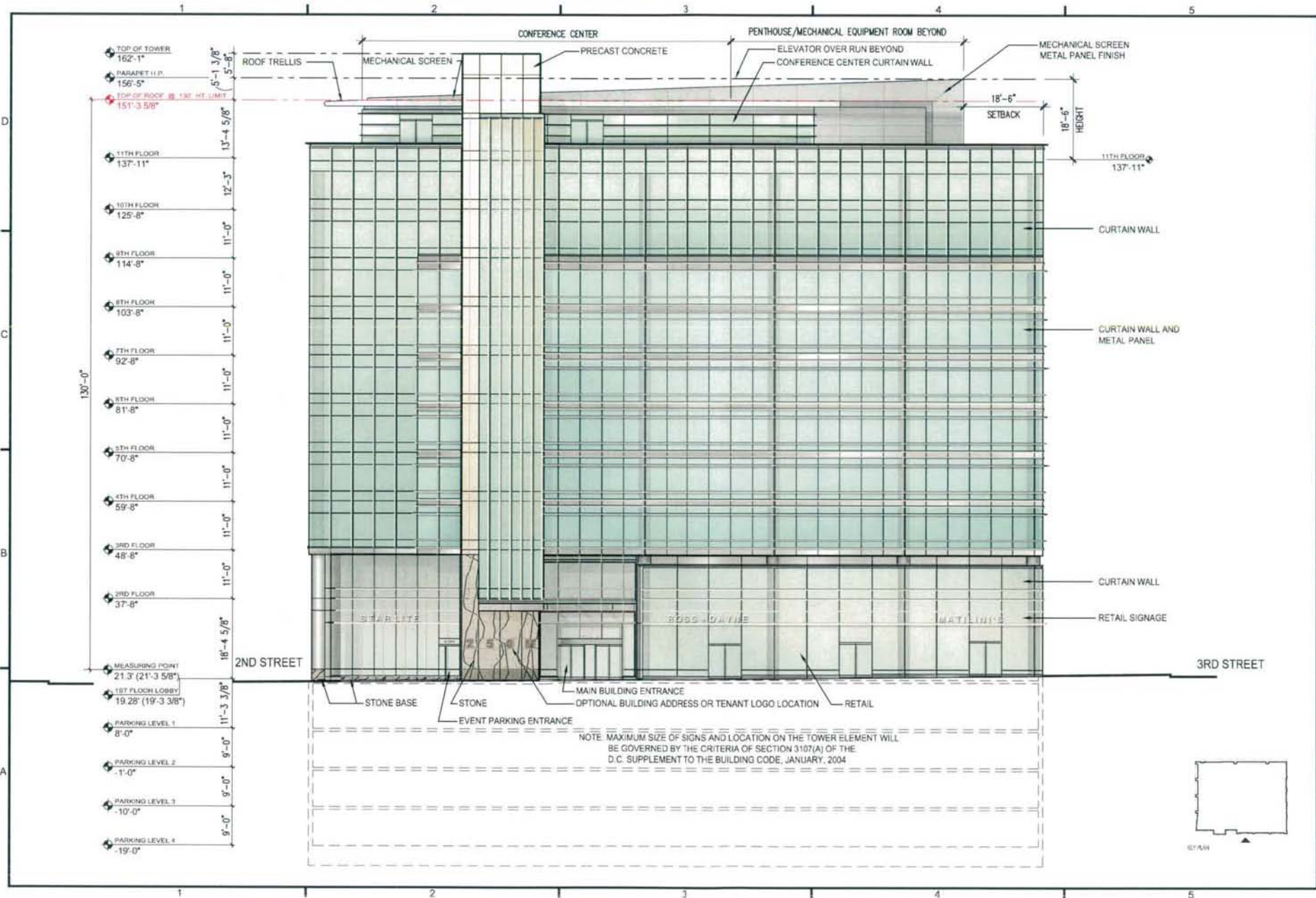
PROJECT
260 M STREET, SE
SQUARE 769, LLC
1100 New Jersey Ave. SE, Suite 1000
Washington, DC 20003

DATE 05/08/08
SUPPLEMENTAL PRE-HEARING SUBMISSION
2ND STREET PERSPECTIVE

PROJECT NO.
08034.15
DESIGNED BY
S.B. CMV
SCALE
NOTES
DATE
05-08-08
DWG. NO.

A2.01D





1000 7th Street, NW
Washington, DC 20003
P: 202 582 4770
F: 202 582 2200
www.hickocole.com

PROJECT
250 M STREET SE
SQUARE 750
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE Suite 1000
Washington, DC 20003



PROJECT NO.
05034_14
DRAWN BY
E.B. CN, CM
SCALE
1" = 20'-0"
DATE
05-08-08
DWG. NO.

A2.01



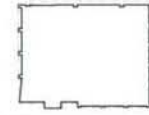
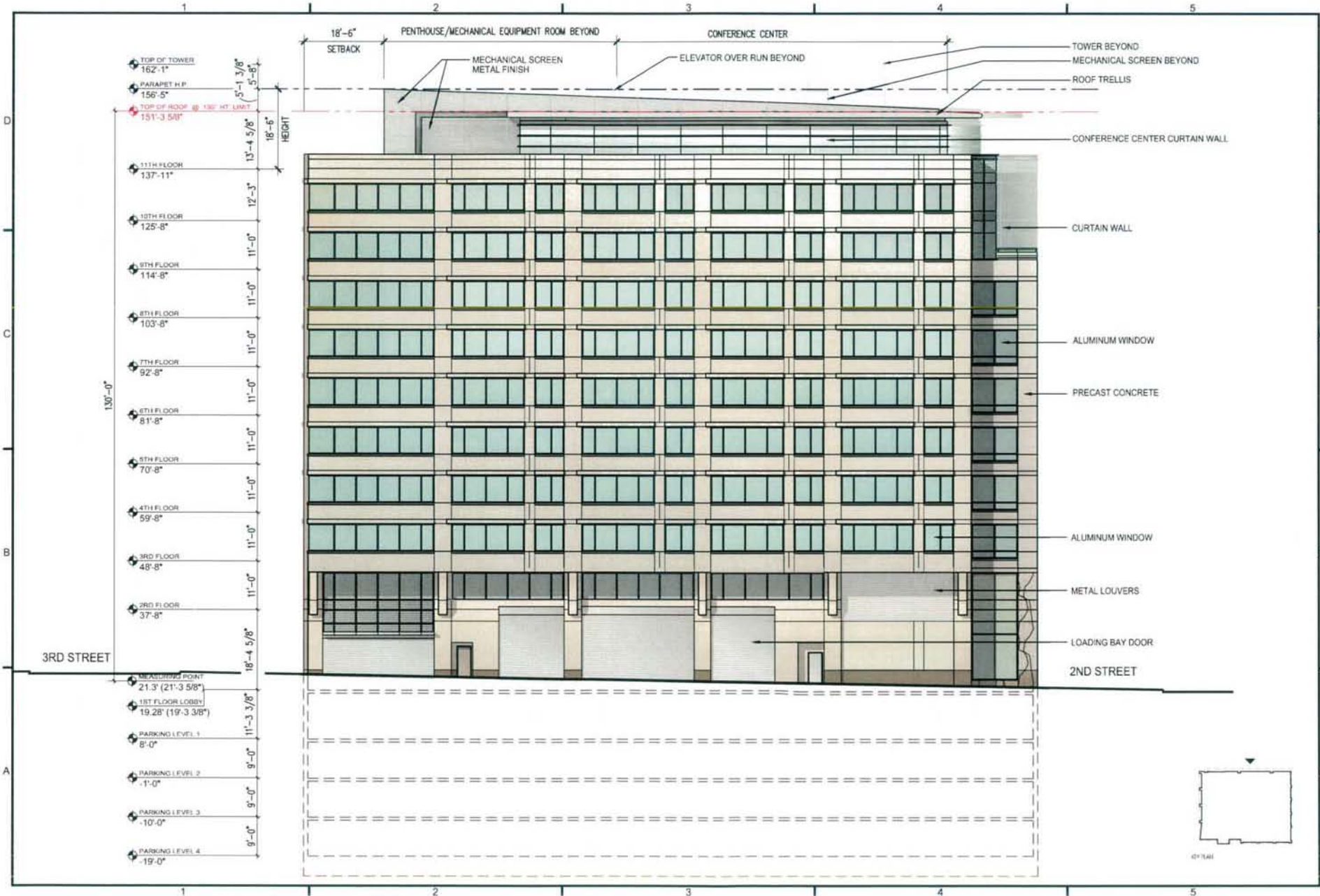
1033 11th Street, NW
 Washington, DC 20004
 P: 202.462.1570
 F: 202.462.2266
 www.hickcole.com

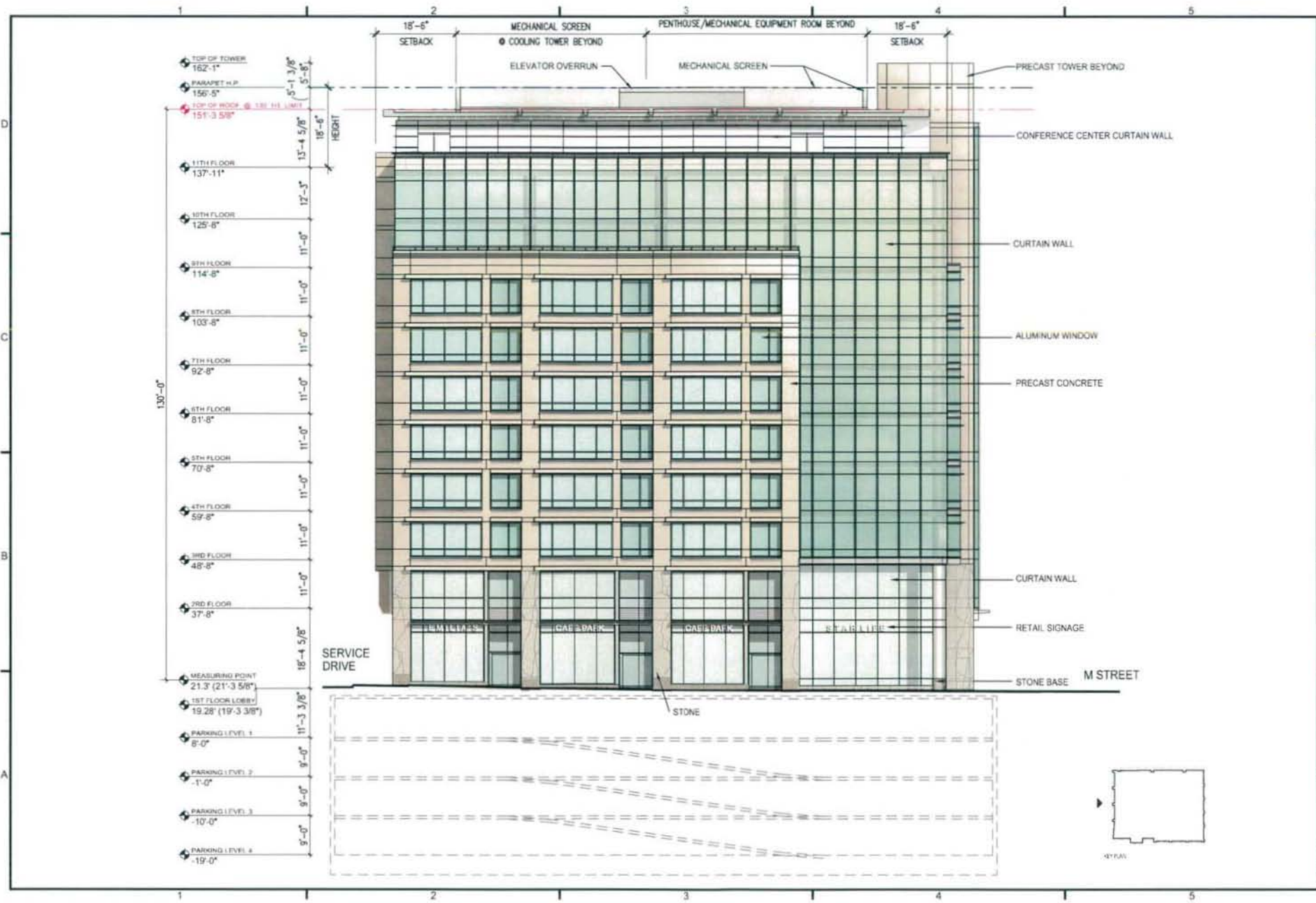
PROJECT
 250 M STREET, SE
 SQUARE 769, LLC
 WILLIAM C. SMITH & COMPANY
 1100 Wisconsin Avenue, NW
 Washington, DC 20005

DRAWING TITLE
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 SERVICE DRIVE (NORTH) ELEVATION

PROJECT NO.
 05034.14
 DRAWN BY
 SCALE
 1" = 20'-0"
 DATE
 05-08-08
 DWG. NO.

A2.03





PROJECT:
280 M STREET, SE
SQUARE 761, LLC
SQUARE 761 COMPANY
1100 New Jersey Ave, SE Suite 1000
Washington, DC 20003



PROJECT NO:
S0034.14
DRAWN BY:
EB, KM, CH
PAC:
1" = 20'-0"
DATE:
05-08-08
DWG. NO:

A2.04



1022 E. 9th Street, 10th
 Washington, DC 20007
 P: (202) 462-8770
 F: (202) 381-2284
 www.parkcity.com

PROJECT
 250 M STREET SE
 SQUARE 765, LLC
 WILLIAM C. SMITH & COMPANY
 1100 New Jersey Ave. SE Suite 1000
 Washington, DC 20003

DESCRIPTION
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 TYPICAL BAY ENLARGED ELEVATION

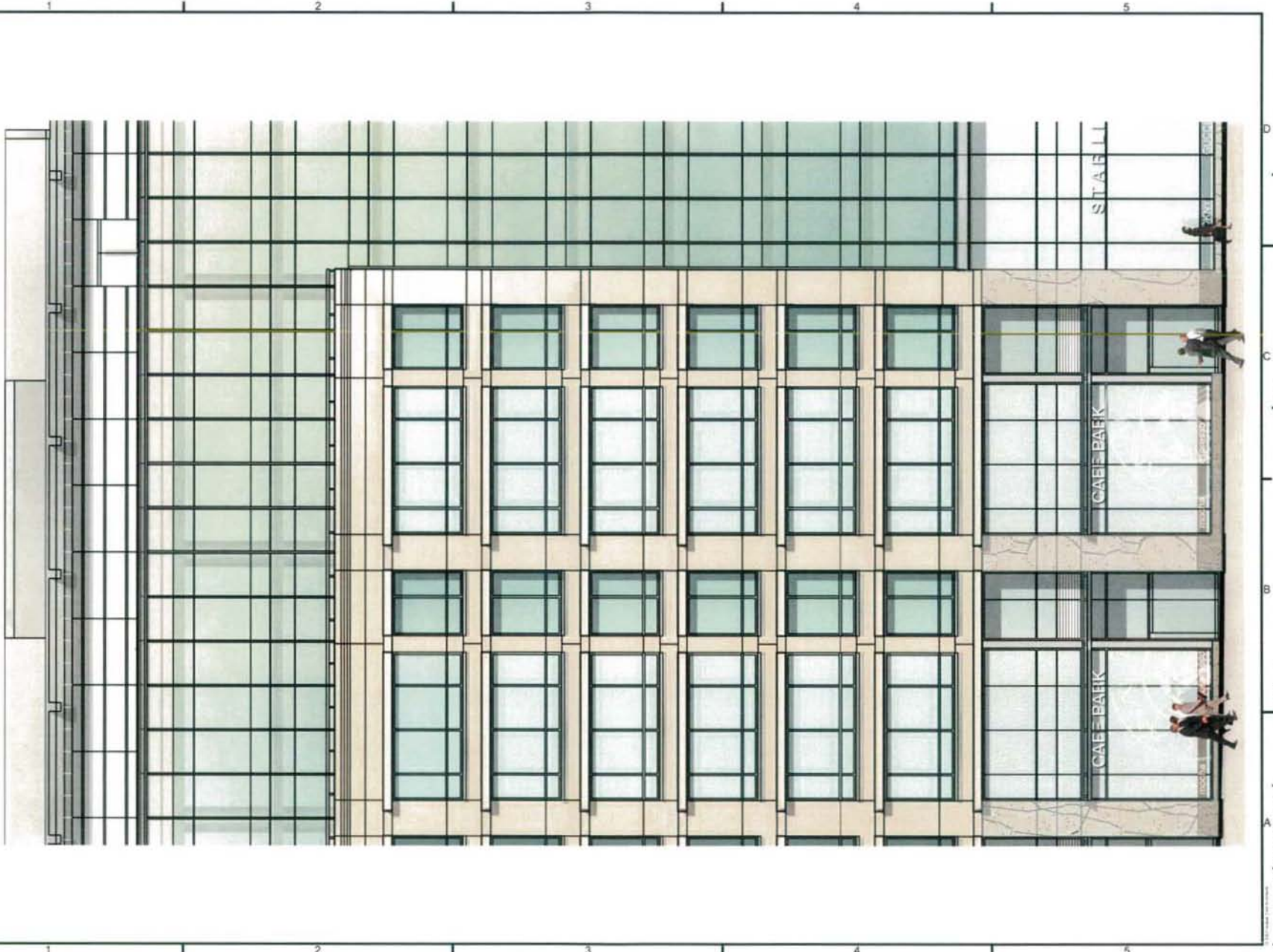
PROJECT NO.
 250M_14
 09-16-17

SCALE
 3/32" = 1'-0"

DATE
 05-08-2018

DWG NO.

A2.05





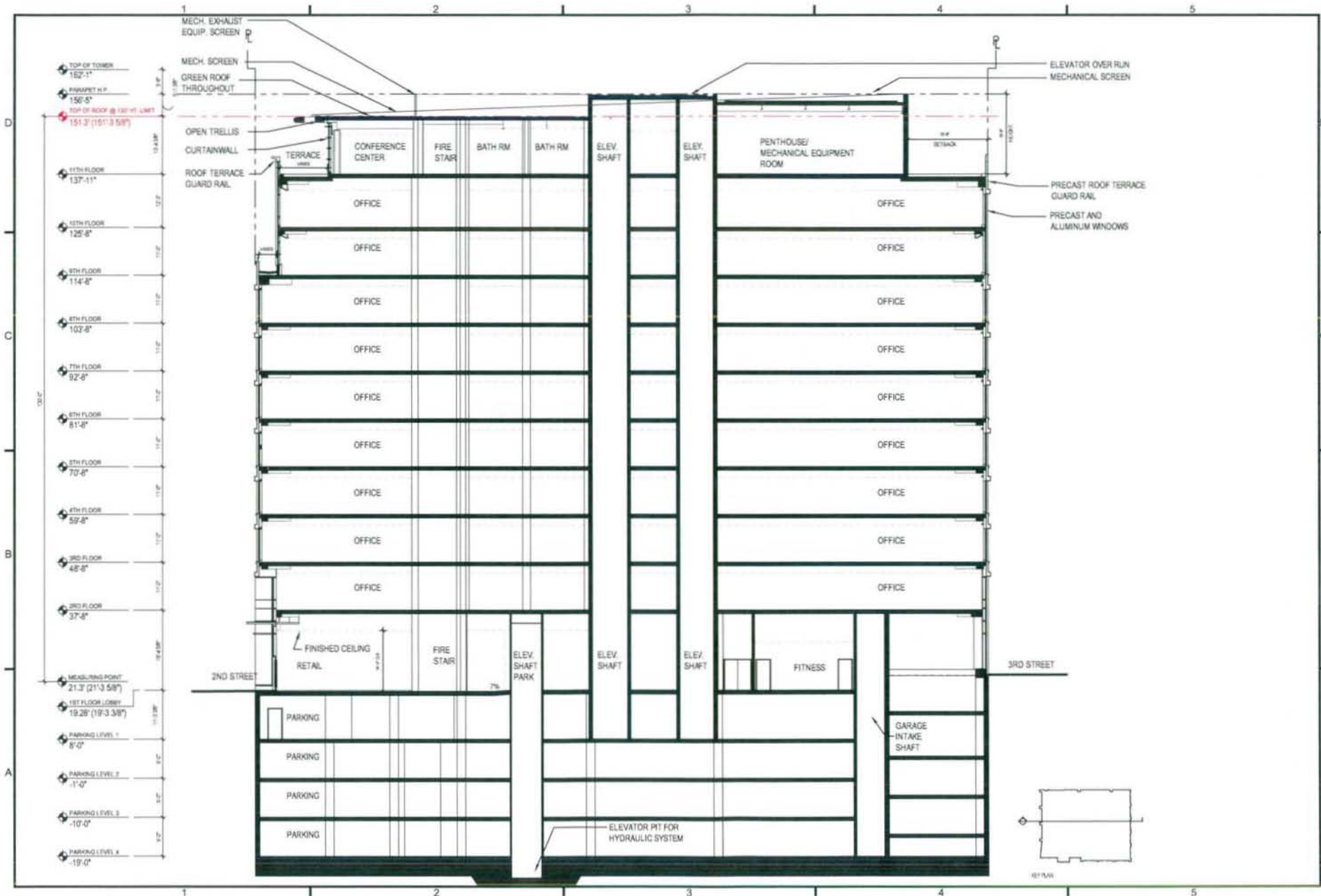
1025 Pike Street, 9th
 Washington, DC 20001
 P: 202 697 2715
 F: 202 697 2288
 www.hobas.com

PROJECT:
 260 M STREET, SE
 SQUARE 769, LLC
 1102 New Jersey Ave, SE Suite 1000
 Washington, DC 20003

DATE: 05-08-08
 DRAWING TITLE:
 SUPPLEMENTAL PRE-HEARING SUBMISSION
 E/W BUILDING SECTION
 30'
 20'
 10'
 0'
 10'
 20'
 30'

PROJECT NO:
 05034.14
 DRAWN BY:
 EJB
 SCALE:
 1/4" = 20'-0"
 DATE:
 05-08-08
 DWG NO:

A3.01





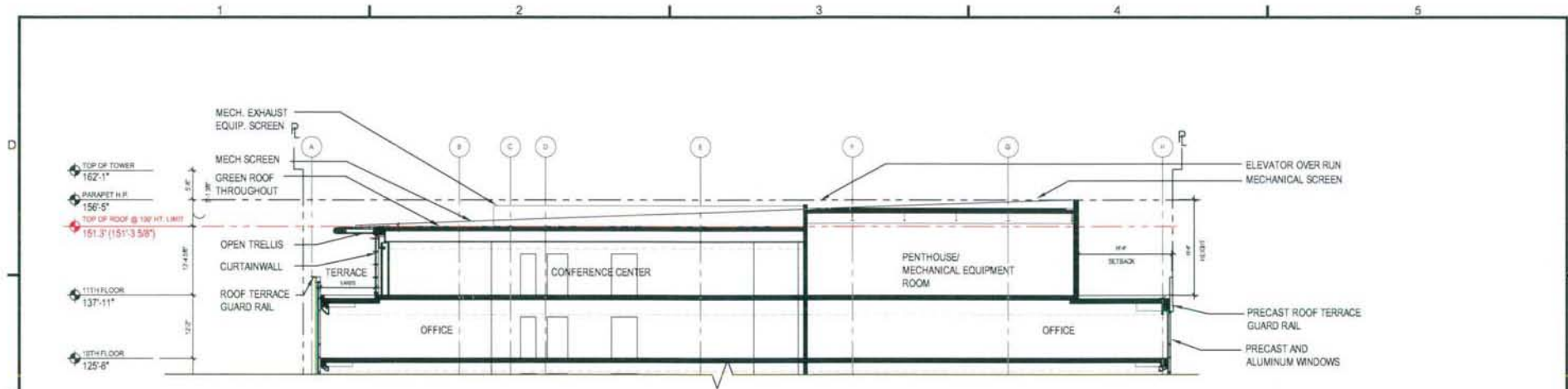
1000 17th Street, NW
Washington, DC 20036
P: 202-462-7070
F: 202-462-7071
www.hickocole.com

PROJECT:
250 M STREET, SE
SQUARE 769, LLC
1100 Maryland Ave, SE, Suite 1000
Washington, DC 20003

DESIGNER TITLE:
SUPPLEMENTAL PRE-HEARING SUBMISSION
PARTIAL EAST / WEST BUILDING SECTIONS

PROJECT NO:
05034.14
DRAWN BY:
EB
SCALE:
1" = 20'-0"
DATE:
05-08-08
DWG. NO.:

A3.03



**PARTIAL BUILDING SECTION
EAST / WEST**

1

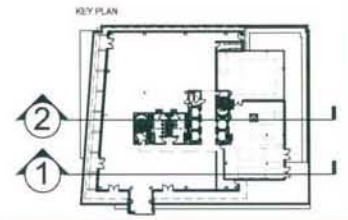
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**PARTIAL BUILDING SECTION
EAST / WEST**

2

SCALE: 1"=20'-0"





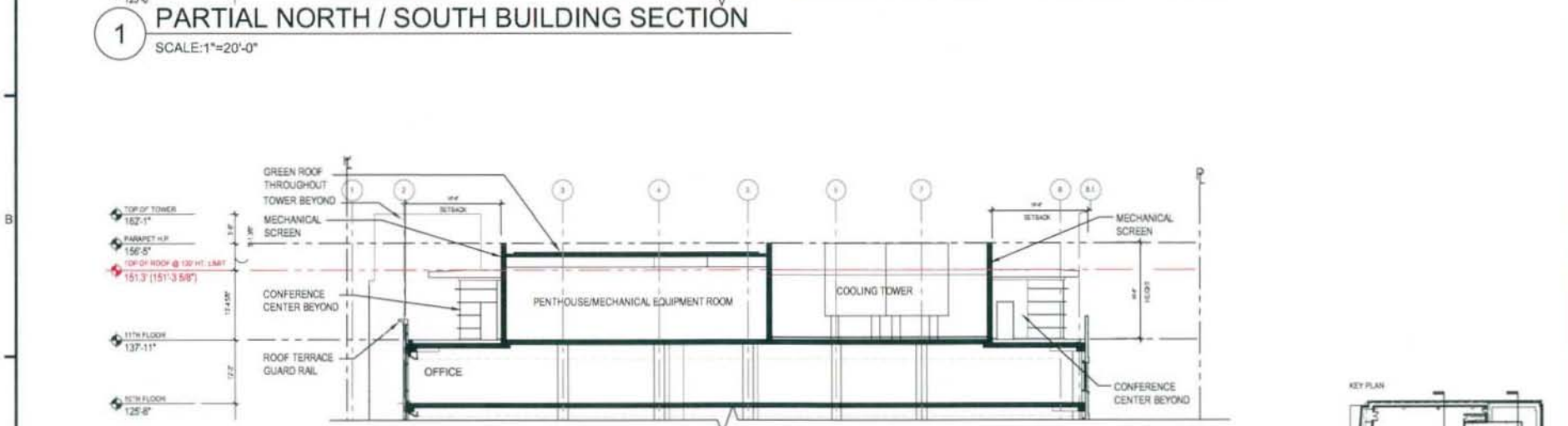
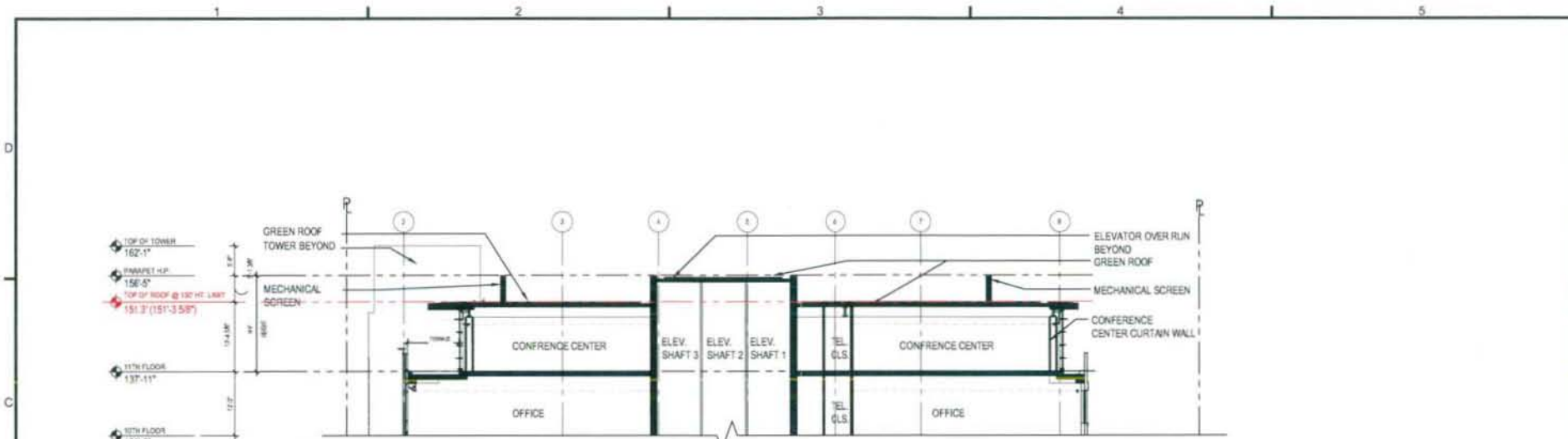
1827 Old Branch Road
Washington, DC 20007
410-487-2472
1-800-861-2886
www.hobas.com

PROJECT
260 M STREET, SE
SQUARE 769, LLC
WILLIAM C. SMITH & COMPANY
1100 New Jersey Ave. SE Suite 1000
Washington, DC 20003

DRAWING TITLE
SUPPLEMENTAL PRE-HEARING SUBMISSION
PARTIAL NORTH / SOUTH BUILDING SECTIONS

PROJECT NO
S20M 14
DRAWN BY
CMH
SCALE
1" = 20'-0"
DATE
05-08-08
DWG NO

A3.04



DATE PLOTTED: 05/08/08