



TORTI
GALLAS
URBAN



GRIMKE ARTS

ISSUED:
BZA APPLICATION

4/30/2018

SITE EXHIBITS

ZONING TABULATIONS	4
ZONING DIAGRAMS	5
ZONING DIAGRAMS	6
AERIAL MAP	7
EXISTING CONDITIONS	8
CONTEXT PHOTOS SOUTH OF SITE	9
ZONING MAP	10

ARCHITECTURE EXHIBITS

EXISTING BUILDING SURVEY	11
ILLUSTRATIVE SITE PLAN	12
PROPOSED FIRST FLOOR PLAN	13
PROPOSED NORTH PARKING PLAN	14
PROPOSED SOUTH PARKING PLAN.....	15
PROPOSED SECOND FLOOR PLAN.....	16
PROPOSED THIRD FLOOR PLAN.....	17
PROPOSED FOURTH FLOOR PLAN	18
PROPOSED ROOF PLAN.....	19
AERIAL VIEW FROM NORTHWEST.....	20
AERIAL VIEW FROM SOUTHWEST	21
AERIAL VIEW FROM SOUTHEAST	22
AERIAL VIEW FROM NORTHEAST.....	23
GRIMKE COMMERCIAL WEST ELEVATION.....	24
GRIMKE COMMERCIAL WEST ELEVATION (CONT.)	25
GRIMKE COMMERCIAL SOUTH ELEVATION.....	26
GRIMKE COMMERCIAL EAST ELEVATION.....	27
GRIMKE COMMERCIAL NORTH ELEVATION	28
GRIMKE RESIDENTIAL NORTH ELEVATION	29
GRIMKE RESIDENTIAL EAST ELEVATION.....	30
GRIMKE RESIDENTIALSOUTH ELEVATION	31
GRIMKE RESIDENTIAL WEST ELEVATION.....	32

ZONING TABULATIONS

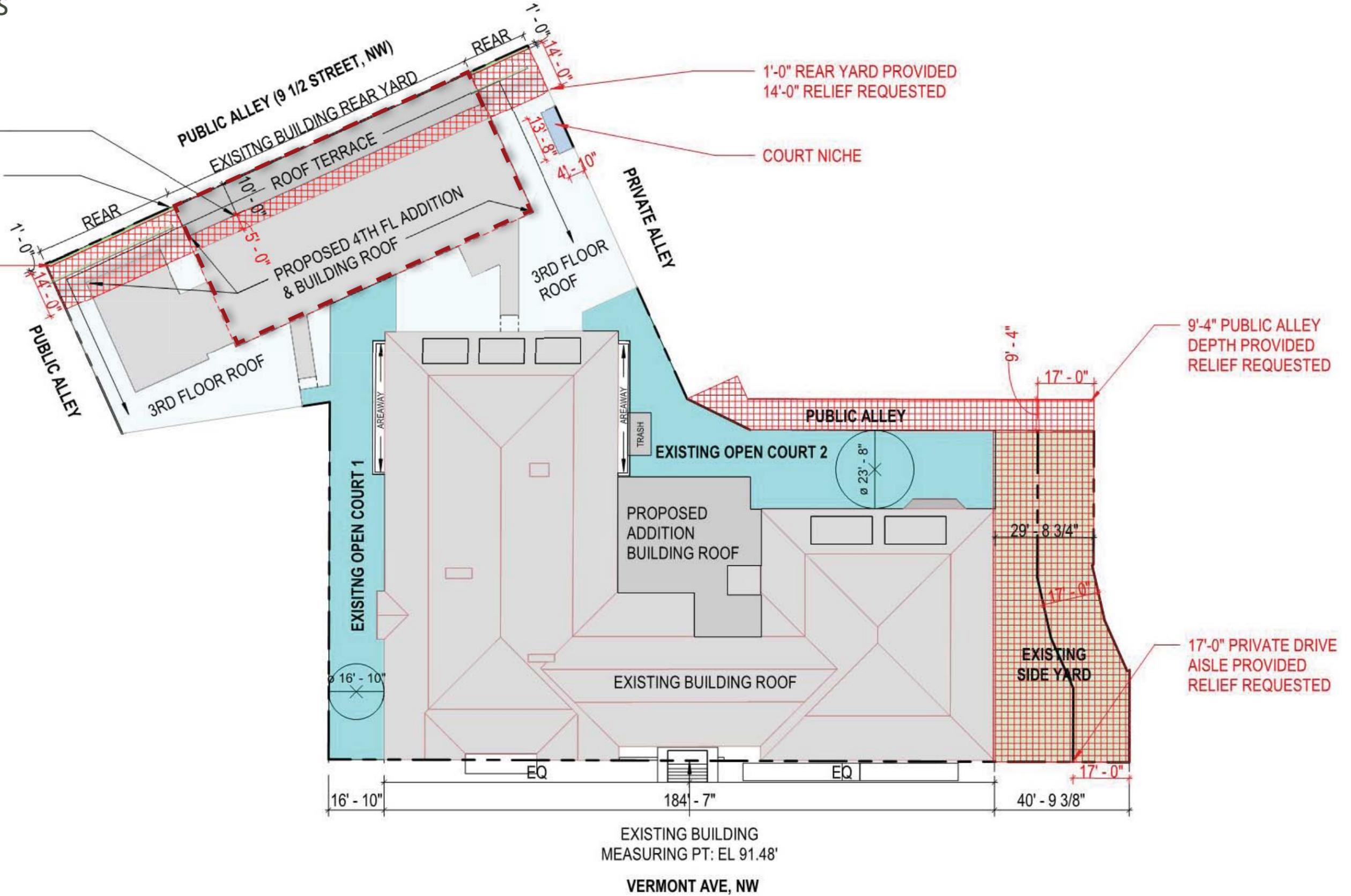
		Square 361	Lot 827	Current Zoning: RF-1
		Site Area: 37,926		
Allowable by Zoning ARTS-2		GRIMKE - Provided		
FAR	1.5 Commercial 3.5 Residential + 20% IZ Bonus Density = 4.2 + .5 FAR Residential Bonus Density (Arts Overlay) = 4.7 + .3 (preferred uses FAR) = 5.0 5.0 max FAR with increases	2.75 1.77 0.98	Total Non-residential Residential	104,195 GFA 67,030 GFA 36,017 GFA
Building Height	Byright - 65', IZ-70' stories-no limit	52' - 5 5/8" (Ht. to top of Non-Residential roof) 4 stories	43'-9" (Ht. to top of Residential roof)	
Penthouse	FAR = .4 max (Habitable Space) Height - 12' typ./18.5' allowed at stairs, elev., and mech Setback = 1:1	None provided		
Lot Occupancy	80% for residential use (at lowest residential level) 100% for commercial uses	73%		
Rear Yard	15' Required for area at or above 25'	1' - 0" rear yard provided Relief Requested		
Side Yard	None required; If provided 2 inches per foot of height not < 5 feet	None provided		
Courtyards	<u>Open</u> None required; If provided min width: 3" per ft of height (non-res) None required; If provided min width: 4" per ft of height not < 15' (res) Court 1 (45'-2" x 4" = 15' required) Court 2 (45'-2" x 4" = 15' required)	16'-10" provided 23'-8" provided		
	<u>Closed</u> None required.			
Green Area Ratio	0.3	Not required - Less than 50% increase		
<u>Parking Requirement</u>		16 existing spaces required. Additional parking not req'd since less than 50% increase		
Office	.5 per 1,000 SF in excess of 3,000 SF	21 spaces provided		
Residential	1 space per each 3 D.U. in excess of 4 units. * Note: Project located within 1/2 mile of a metro station, 50% parking reduction allowed per Subtitle C §702.1			
Drive Aisle	20' Two-way required 10' Min alley depth required	17' Provided. Relief Requested 9'-4" existing alley depth. Relief Requested		
<u>Bike Parking</u>	<u>Long Term</u> 1 space per each 2,500 SF. 1 space per each 3 D.U.	<u>Short Term</u> 1 space per each 40,000 SF. 1 space per each 20 D.U.		
Office		Bike parking not req'd since less than 50% increase		
Residential				
<u>Loading</u>		Loading not req'd since less than 50% increase		
Office	1 loading berth at 30' + 1 20' service space (20,000 sf - 50,000 sf)			
Residential	1 loading berth at 30' + 1 20' service space (>50 units)			

ZONING DIAGRAMS

(AT ROOF)
5'-0" RELIEF REQUESTED

EXISTING AUDITORIUM
BUILDING EXTERIOR WALLS
TO REMAIN

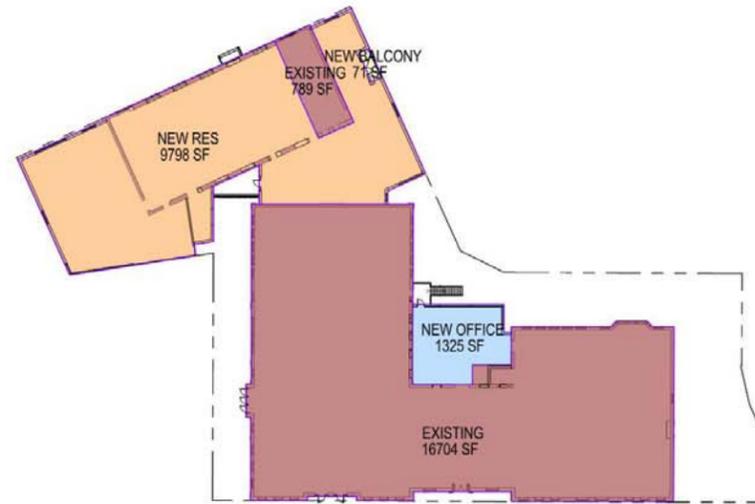
1'-0" REAR YARD PROVIDED
14'-0" RELIEF REQUESTED



ZONING DIAGRAMS



GRIMKE Ground Floor



GRIMKE 1st Floor



GRIMKE 2nd Floor

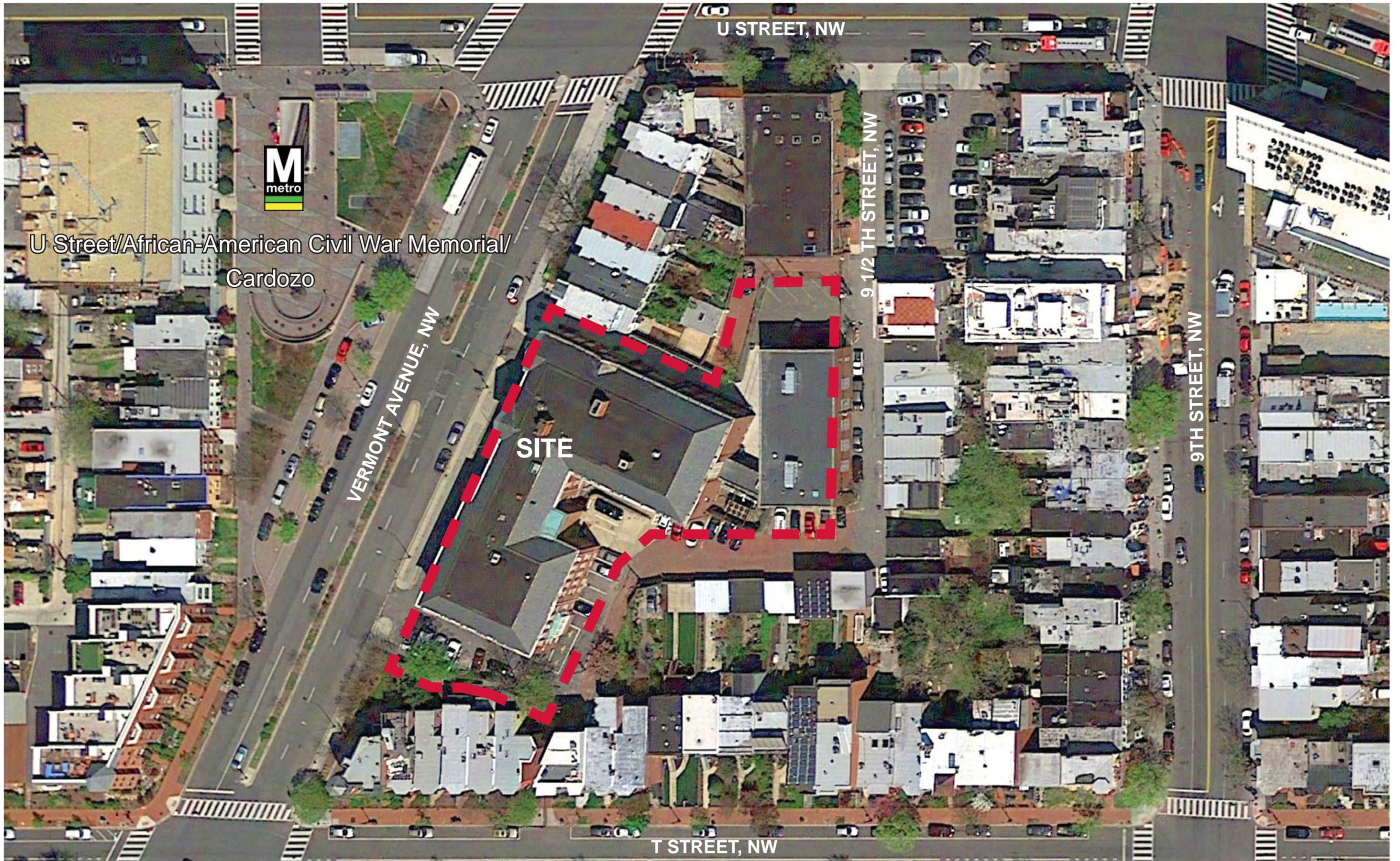


GRIMKE Attic/ 3rd Floor

BUILDING AREA - GRIMKE								
Floor	Grimke Non-Residential			Grimke Residential			Ext. Covered Space	Total
	EXISTING	NEW	Total com	EXISTING	NEW	Total res		
Ground Floor	16,704	1,325	18,029	0	0	0	0	18,029
1st Floor	16,704	1,325	18,029	5,029	4,806	9,835	1,006	27,864
2nd Floor	16,663	1,325	17,988	789	9,798	10,587	71	28,575
Attic/3rd Floor	11,062	1,922	12,984	0	10,587	10,587	71	23,571
4th Floor	0	0	0	0	5,008	5,008	0	5,008
TOTAL GSF Interior	61,133	5,897	67,030	5,818	30,199	36,017	1,148	103,047
TOTAL GFA In FAR	61,133	5,897	67,030	5,818	30,199	36,017	1,148	104,195
							Site Area	37,926
							FAR	2.75

Total Existing Buildings (GFA)	66,951	
Total New Additions (GFA)	37,244	36%
Total	104,195	

	GFA	FAR
Residential	37,165	0.98
Non-Residential	67,030	1.77



U Street/African-American Civil War Memorial/
Cardozo



SITE

VERMONT AVENUE, NW

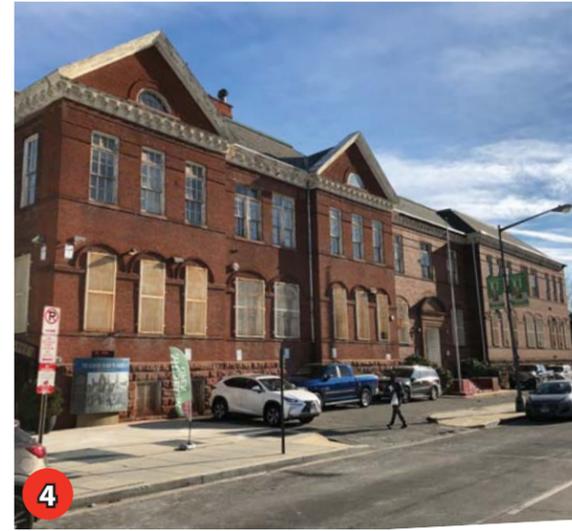
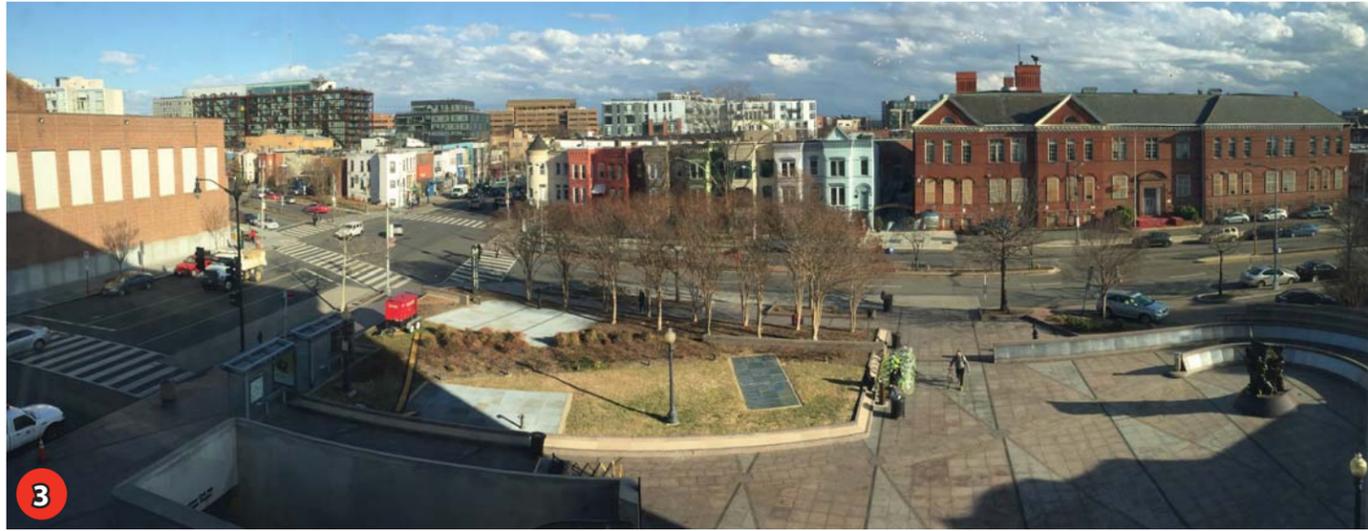
U STREET, NW

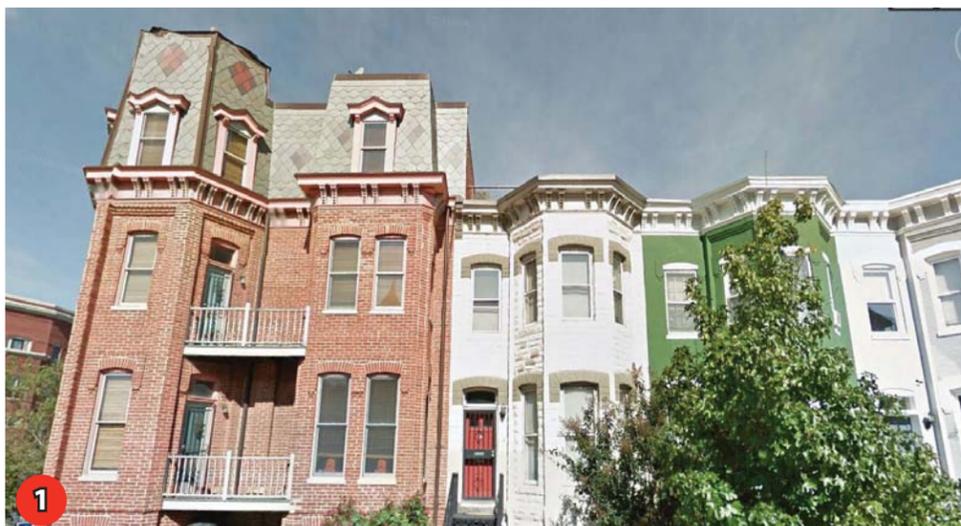
9 1/2 TH STREET, NW

9TH STREET, NW

T STREET, NW



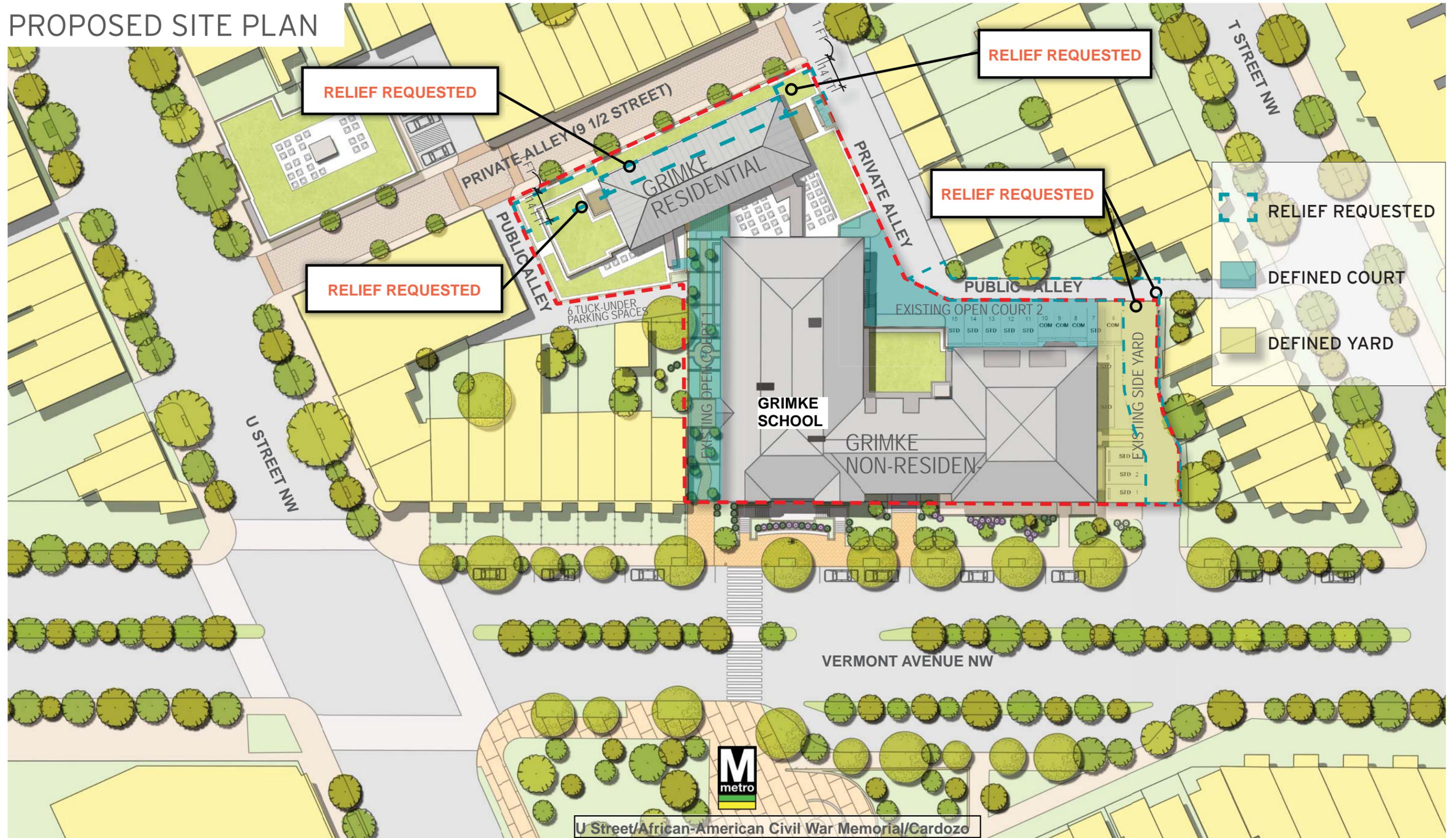




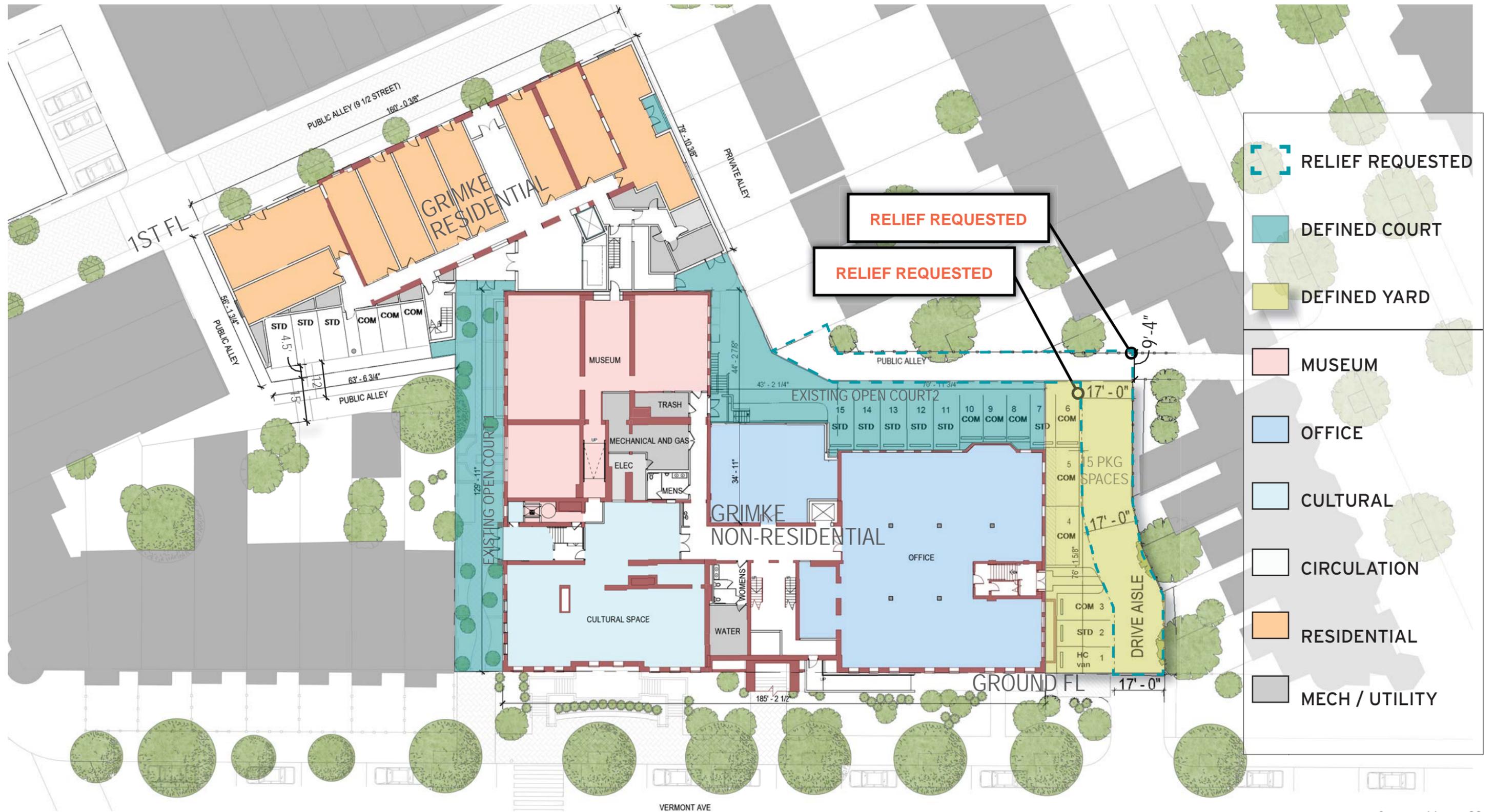
ZONING MAP



PROPOSED SITE PLAN



PROPOSED FIRST FLOOR PLAN

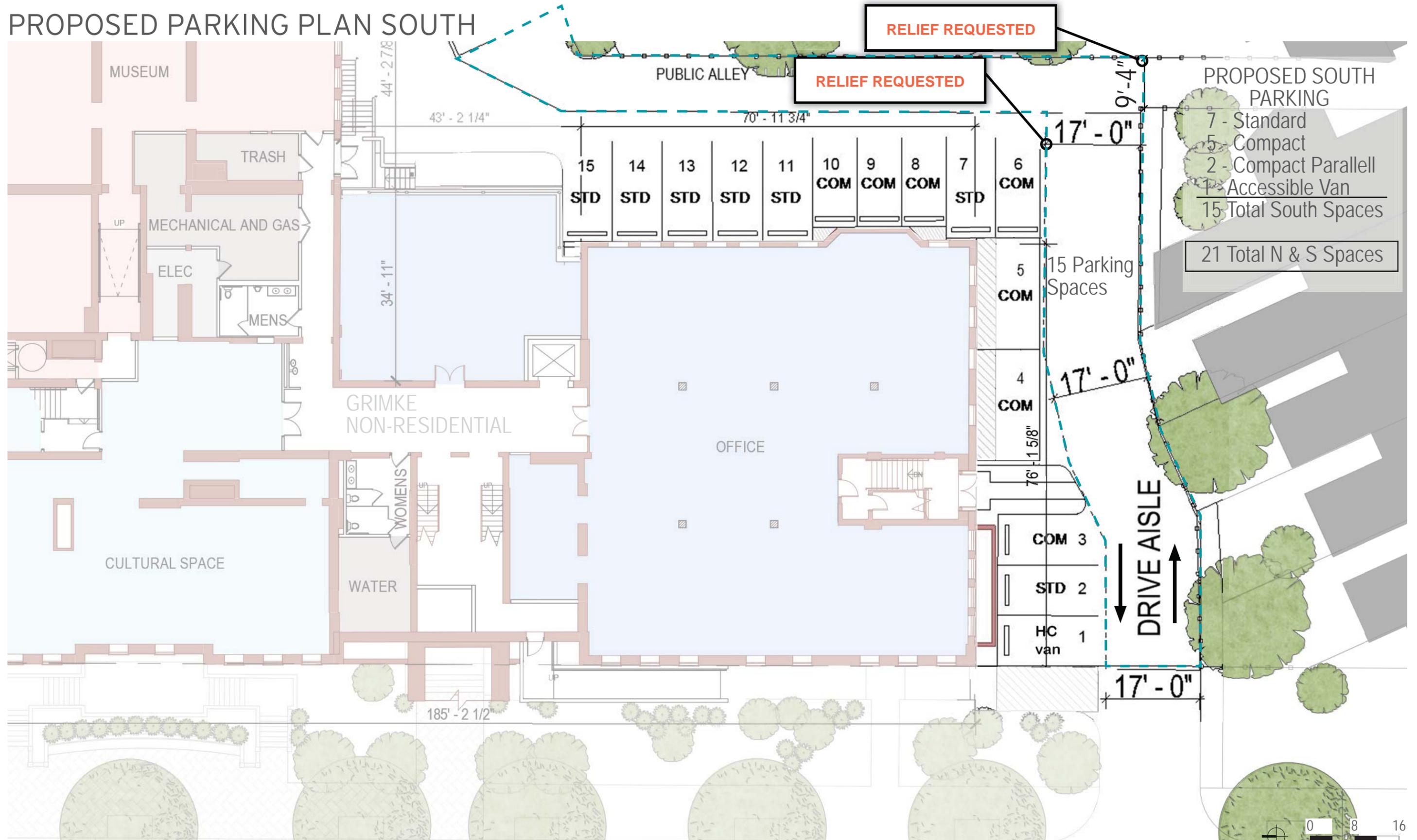


PROPOSED PARKING PLAN NORTH



April 30, 2018 | ©2018 Torti Gallas Urban | 1326 H Street, 2nd Floor | Washington, DC | 202.232.3132

PROPOSED PARKING PLAN SOUTH



April 30, 2018 ©2018 Torti Gallas Urban | 1326 H Street, 2nd Floor | Washington, DC | 202.232.3132